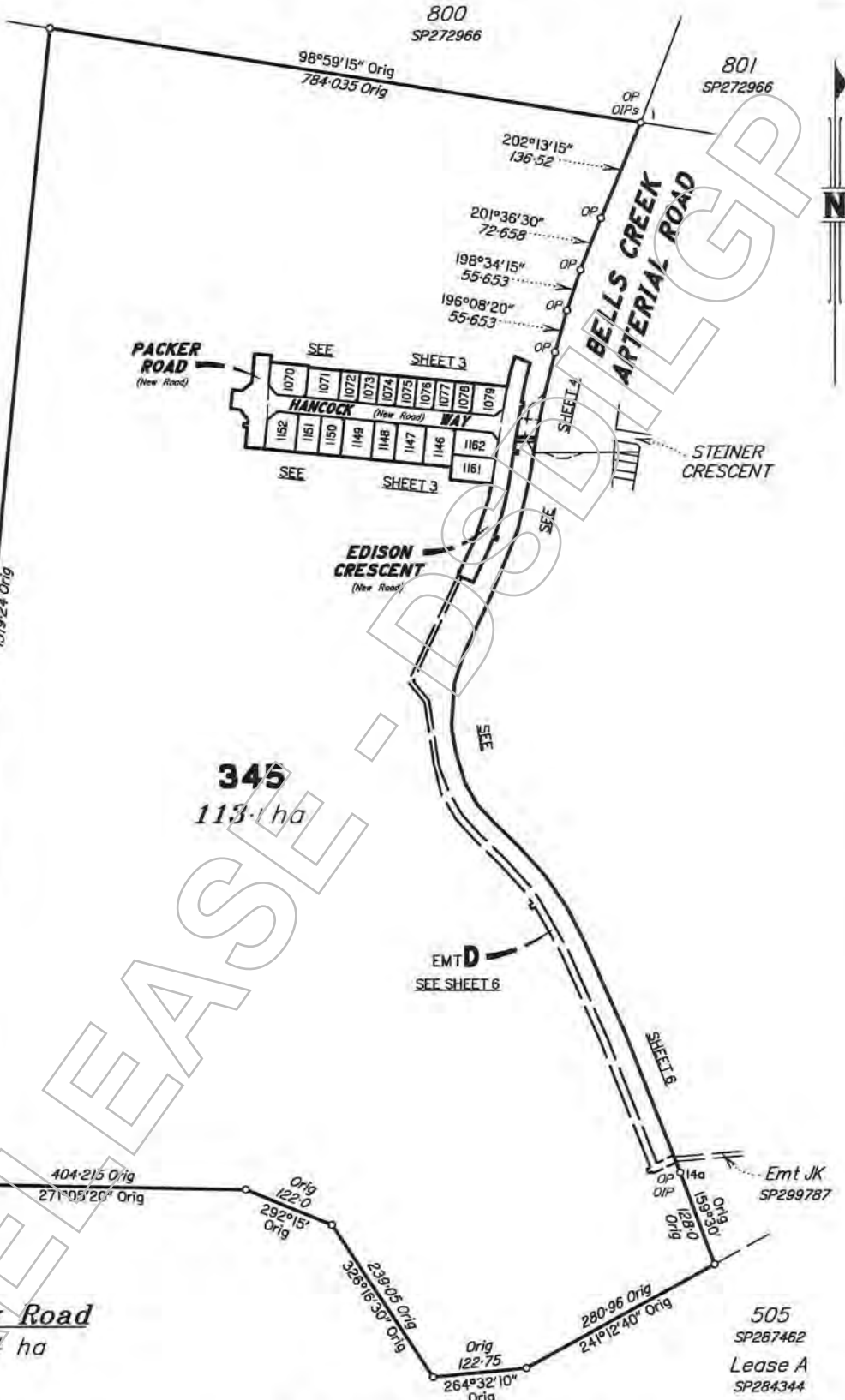


Peg placed at all new corners, unless otherwise stated.

For Reference Marks & MGA Coordinates Tables See Sheet 6.

Original information compiled from SP287462 in the Department of Natural Resources, Mines & Energy.



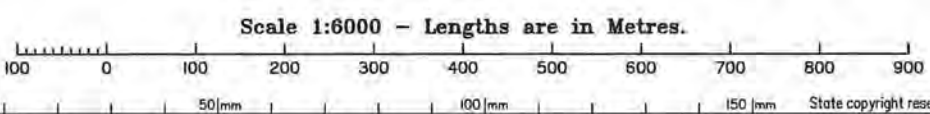
504
RP884348

345
113.1 ha

505
SP287462
Lease A
SP284344

Total Area of New Road
(SEE SHEETS 3 & 4)..... 1.7344 ha

ADDITIONAL REFERENCE MARKS
TO BE PLACED FOLLOWING ROAD
CONSTRUCTION (SEE IS277704)



RPS Australia East Pty Ltd (ACN 140 292 762) hereby certify that the land comprised in this plan was surveyed by the corporation, by Michael Peter VENER, surveying associate, for whose work the corporation accepts responsibility, under the supervision of Mark Raymond TROYAHN, Cadastral Surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 20/03/2018.

Plan of
Lots 345, 1070-1079, 1146-1152, 1161 & 1162 and Proposed Emts A & B and Emts C-E in Lot 345 & Emts F-N in Lots 1070, 1072, 1074, 1076, 1078, 1146, 1148, 1150 & 1152 Respectively
Cancelling Lot 345 on SP287462

LOCAL GOVERNMENT: SUNSHINE COAST REGIONAL COUNCIL LOCALITY: BELLS CREEK
Meridian: MGA (Zone 56) Vide GNSS Survey Records: No

Scale: 1:6000
Format: STANDARD



Authorised Delegate:
27.3.18
Date

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

(Dealing No.)

5. Lodged by

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.
+ / We **STOCKLAND DEVELOPMENT PTY LIMITED**
(ACN 000 064 835)

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

6. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51101417	Lot 345 on SP287462	345, 1070-1079, 1146-1152, 1161 & 1162	New Rd	Emts A-N

EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS

Administrative Advice	Lots to be Encumbered
712292989	345, 1070-1079, 1146-1152, 1161 & 1162
712292992	345, 1070-1079, 1146-1152, 1161 & 1162
712293010	345, 1070-1079, 1146-1152, 1161 & 1162
716792467	345, 1070-1079, 1146-1152, 1161 & 1162

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
717730160 (Emts FC & FD on SP289966)	345
717730161 (Emt FE on SP289966)	345

* Rule out whichever is inapplicable

2. Planning Body Approval.

* MINISTER FOR ECONOMIC DEVELOPMENT QUEENSLAND hereby approves this plan in accordance with the:

% **ECONOMIC DEVELOPMENT ACT 2012**

Dated this 2 day of May 2018

MINISTER FOR ECONOMIC DEVELOPMENT QUEENSLAND
BY HIS AUTHORISED DELEGATE

Scarline Stone #
#

* Insert the name of the Planning Body.

Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :


4. References :

Dept File :
Local Govt :
Surveyor : PRI24697-5

345, 1070-1079, 1146-1152, 1161 & 1162	Por 505
Lots	Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : RPS Australia East Pty Ltd
Date : 27.3.18
Signed : 
Designation : Cadastral Surveyor

9. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining * lots and road

Cadastral Surveyor/Director * Date
* delete words not required

10. Lodgement Fees :

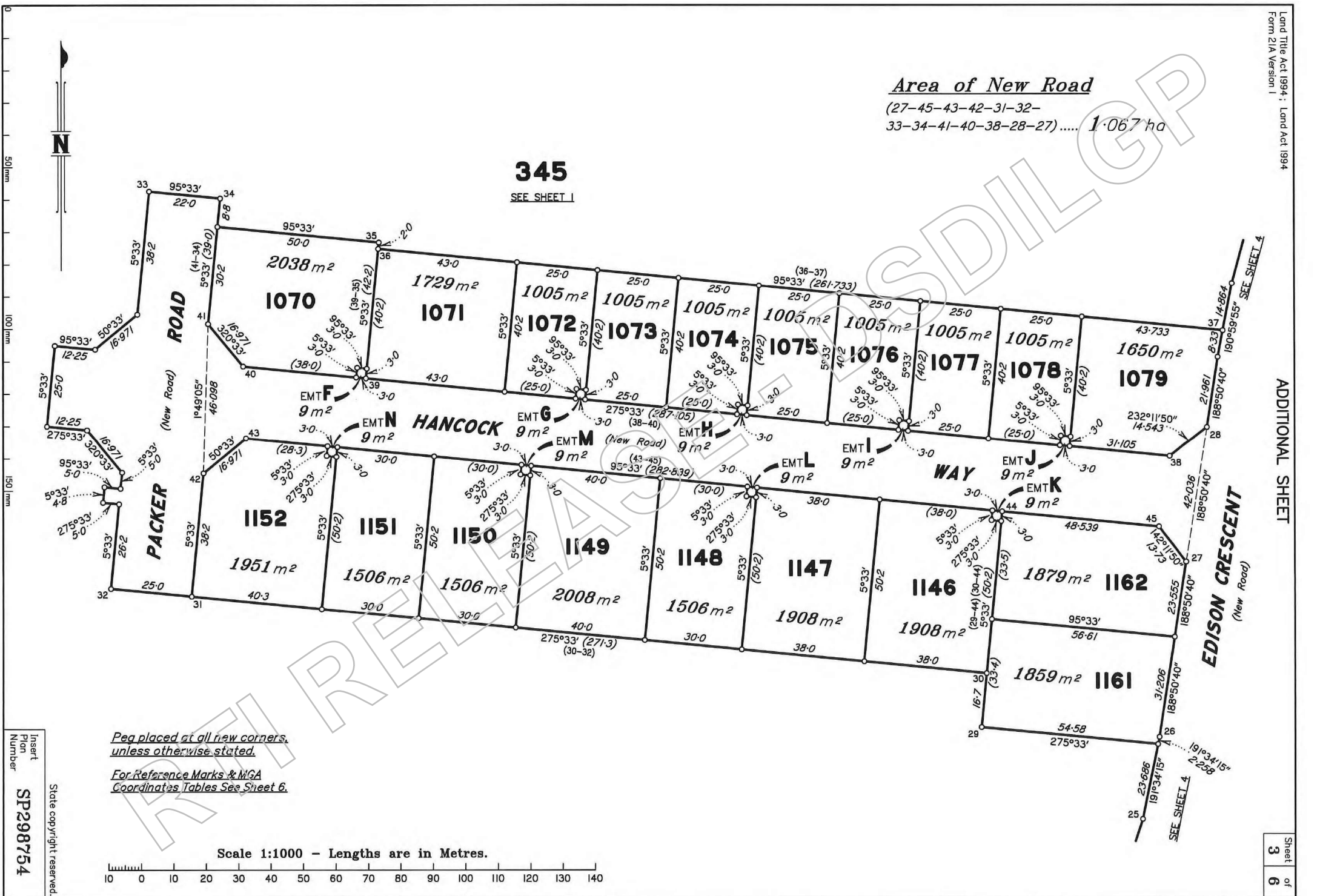
Survey Deposit \$
Lodgement \$
.....New Titles \$
Photocopy \$
Postage \$
TOTAL \$

11. Insert Plan Number
SP298754

Area of New Road

(27-45-43-42-31-32-
33-34-41-40-38-28-27)..... 1.067 ha

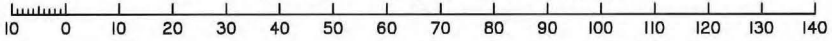
345
SEE SHEET 1



Peg placed at all new corners,
unless otherwise stated.

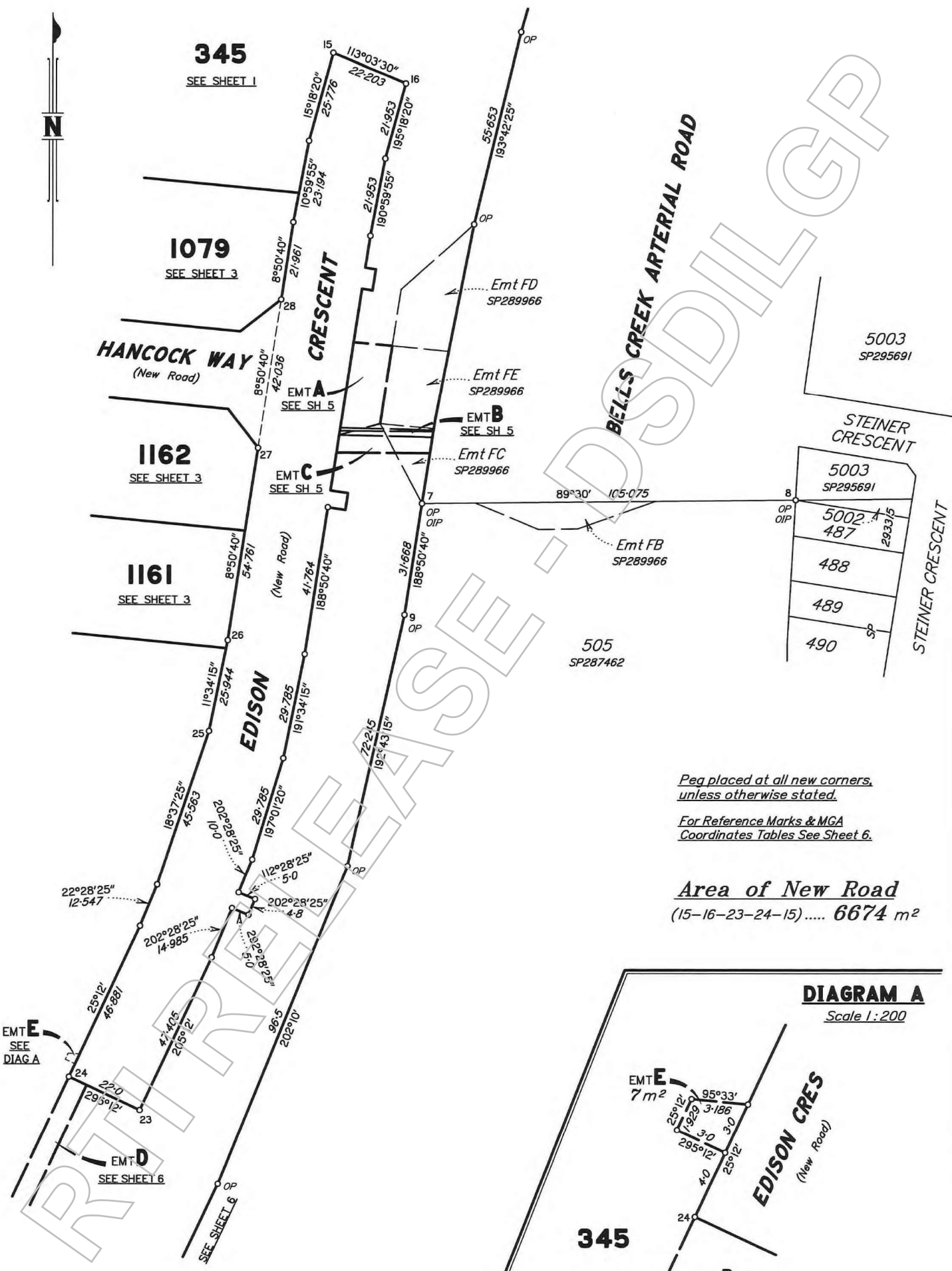
For Reference Marks & NGA
Coordinates Tables See Sheet 6.

Scale 1:1000 - Lengths are in Metres.



Insert
Plan
Number
SP298754

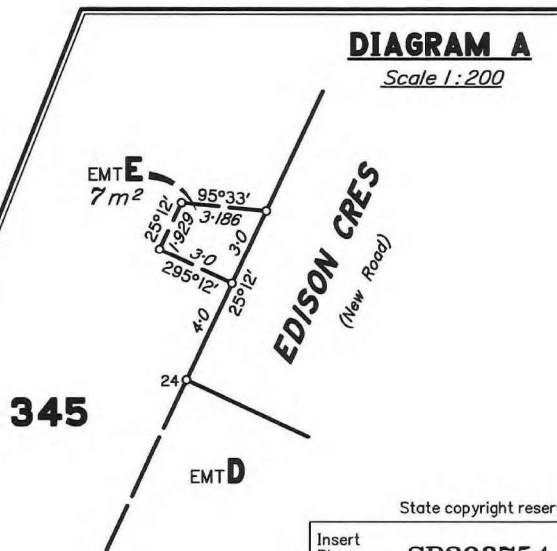
State copyright reserved.



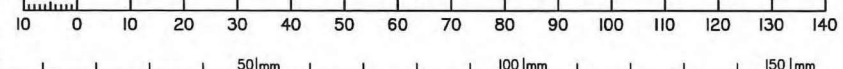
Peg placed at all new corners, unless otherwise stated.
For Reference Marks & MGA Coordinates Tables See Sheet 6.

Area of New Road
(15-16-23-24-15)..... **6674 m²**

DIAGRAM A
Scale 1:200



Scale 1:1000 - Lengths are in Metres.



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Insert Plan Number **SP298754**

MGA COORDINATES GDA-94

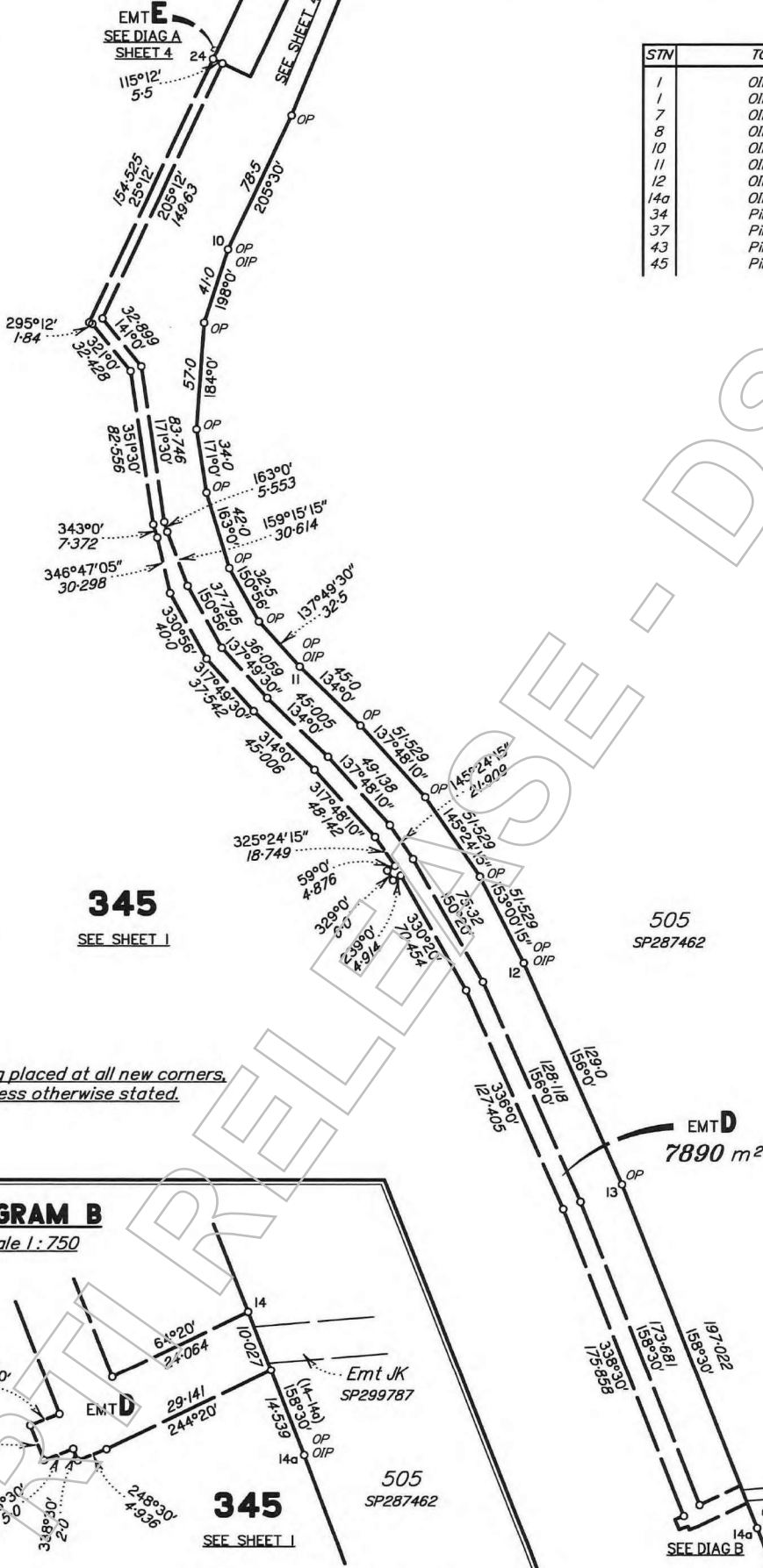
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43	506775.108	7035110.589	56	0-018	Derived	Network RTK	Peg
45	507056.508	7035083.245	56	0-022	Derived	Network RTK	Peg

REFERENCE MARKS

STN	TO	BEARING	DIST	REMARKS
1	OIP	12°28'15"	1.41	8/SP272966
1	OIP	88°25'15"	12.64	8/SP272966
7	OIP	258°50'	3.885	17/SP284343
8	OIP	18°36'	5.702	13/SP287460
10	OIP	264°29'	1.435	25/SP287462
11	OIP	210°28'	2.475	24/SP287462
12	OIP	142°46'	3.165	23/SP287462
14a	OIP	186°53'	10.205	22/SP287462
34	Pin	90°39'	2.62	
37	Pin	222°01'	7.378	
43	Pin	261°05'	12.766	
45	Pin	89°10'	16.937	



EDISON CRESCENT
(New Road)



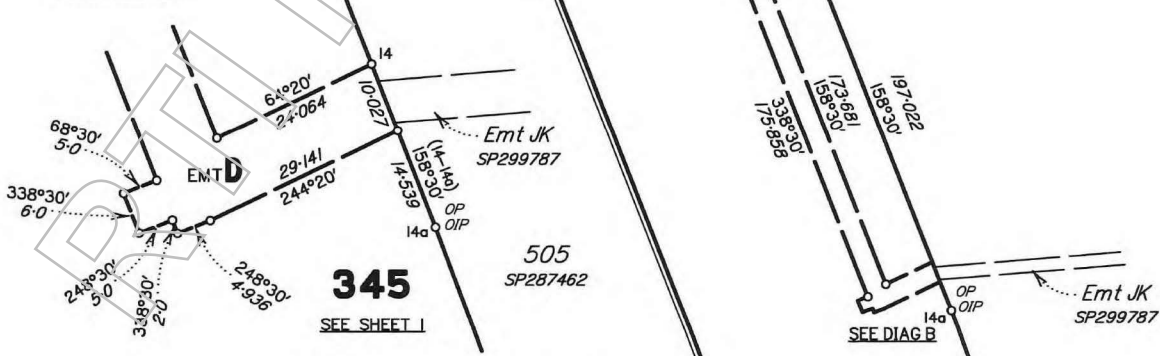
345
SEE SHEET 1

505
SP287462

Peg placed at all new corners, unless otherwise stated.

DIAGRAM B

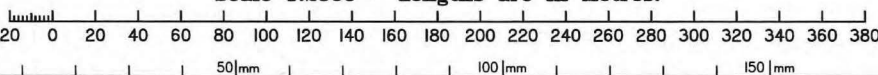
Scale 1 : 750



345
SEE SHEET 1

505
SP287462

Scale 1:2500 - Lengths are in Metres.



State copyright reserved.

Insert Plan Number **SP298754**

Andrew McKnight

From: [REDACTED] Devcon Building Co <[REDACTED]@builtbetter.com.au>
Sent: Monday, 10 September 2018 11:49 AM
To: Jennifer Davison
Cc: [REDACTED] Devcon Building Co
Subject: RE: Further Issues - Lot 1146-1147 Aura Business Park
Attachments: ONYX Moodboard.pdf; 1146-1147 Aura Specifications.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Jennifer

See below in red. Thanks

1. DS4.1 of the approved Plan of Development requires that all land uses comprise the uses specified in the precinct in Table 7. It is noted that the Covenant Approval Letter states from RPS that the use applicable to the covenant approval is 'Low Impact Industry'. Please confirm that this will be the use on site. It should be noted that any uses other than Low Impact Industry will be required to have a separate approval if they are not exempt uses. **Confirmed and understood that uses outside of "low impact industry" will require separate compliance assessment.**
2. DS1.12 requires buildings to be designed to provide external wall colours and roof colour with a solar absorbance not more than 0.45 (i.e. avoid excess use of dark colours and zincalume). Confirm the intended roof colour complies with this design standard (it should be noted that the colour schedule was not provided as part of this application). **Confirmed roof will be "Shale Grey" with Solar Absorbency of 0.43. Have attached mood board showing colours.**
3. Confirm the site of the rainwater tanks to be installed on site. There is a conflict in the plans provided, with one stating 2x6000L tanks and the other 2x7000L tanks: **Apologies. Plans are correct. Have updated Specs (attached)**

Regards



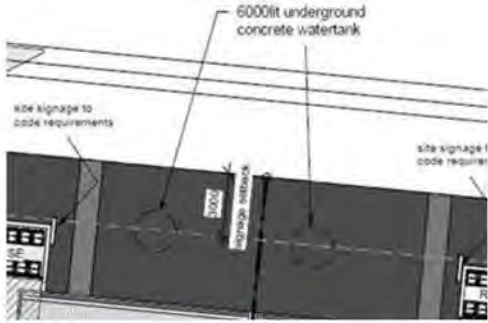
From: Jennifer Davison <Jennifer.Davison@dsdmip.qld.gov.au>
Sent: Monday, 10 September 2018 10:38 AM
To: [REDACTED] Devcon Building Co <[REDACTED]@builtbetter.com.au>
Subject: Further Issues - Lot 1146-1147 Aura Business Park

Good morning [REDACTED]

With regards to the application at Lot 1146-1147 at Aura Business Park, further information is required to finalise the compliance assessment.

1. DS4.1 of the approved Plan of Development requires that all land uses comprise the uses specified in the precinct in Table 7. It is noted that the Covenant Approval Letter states from RPS that the use applicable to the covenant approval is 'Low Impact Industry'. Please confirm that this will be the use on site. It should be noted that any uses other than Low Impact Industry will be required to have a separate approval if they are not exempt uses.
2. DS1.12 requires buildings to be designed to provide external wall colours and roof colour with a solar absorbance not more than 0.45 (i.e. avoid excess use of dark colours and zincalume). Confirm the intended roof colour complies with this design standard (it should be noted that the colour schedule was not provided as part of this application).

3. Confirm the site of the rainwater tanks to be installed on site. There is a conflict in the plans provided, with one stating 2x6000L tanks and the other 2x7000L tanks:



EXTERNAL FEATURES & INCLUSIONS

ITEM	Detail
LANDSCAPING	Per landscape drawings
BICYCLE LOOPS	12 X Bicycle loops
SIGNAGE	2 X Street front signage and individual blank signage per unit. Individual owners to erect business signage in accordance with body corporate by-laws
RAINWATER TANKS	2 x 7000L Below ground concrete water tanks
LETTERBOX	TBC
SOLAR POWER	2 X 5.2kw Rooftop solar system

If you have any questions, please let me know. Happy to discuss.

Regards,



**Queensland
Government**

Jennifer Davison
Senior Planner
Economic Development Queensland
Department of State Development,
Manufacturing, Infrastructure and Planning

P 07 3452 7127
Level 14, 1 William Street, Brisbane QLD 4000
PO Box 15009, City East QLD 4002
www.dsdmip.qld.gov.au

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Department of
**State Development,
Manufacturing,
Infrastructure and Planning**

Our ref: DEV2013/439/47

19 September 2018

[REDACTED]
Devcon Building Co.

Via: email ([REDACTED]@builtbetter.com.au)

Dear [REDACTED]

COMPLIANCE ASSESSMENT IN ACCORDANCE WITH CONDITION 48 OF PDA DEVELOPMENT APPROVAL DEV2013/439 FOR LOW IMPACT INDUSTRY AT LOTS 1146 AND 1147 HANCOCK WAY, BARINGA AND DESCRIBED AS LOT 1146 AND 1147 ON SP298754

I refer to your submission of new building at Lot 1146 and Lot 1147 on SP298754 for compliance assessment in accordance with the requirements set out in condition 48 of PDA development approval DEV2013/439.

I am pleased to advise that EDQ Development Assessment has finalised the compliance assessment, in accordance with the requirements set out in the above referenced PDA development conditions. EDQ Development Assessment has determined the information submitted meets the relevant requirements set out in the applicable PDA development conditions and has endorsed the documents set out in the following table.

Endorsed Document	Doc No. / Ref	Date	Date of Endorsement
Cover, prepared by Devcon Building Co.	L1146-1147AUR A-000 Issue D	23/08/18	19 September 2018
Site Plan, prepared by Devcon Building Co.	L1146-1147AUR A-010 Issue D	23/08/18	19 September 2018
Site Plan at Ground Level, prepared by Devcon Building Co.	L1146-1147AUR A-011 Issue D	23/08/18	19 September 2018
Ground Floor Plan Lot 1146, prepared by Devcon Building Co.	L1146-1147AUR A-020 Issue D	23/08/18	19 September 2018
Ground Floor Plan Lot 1147, prepared by Devcon Building Co.	L1146-1147AUR A-020A Issue D	23/08/18	19 September 2018
Mezzanine FI Lot 1146, prepared by Devcon Building Co.	L1146-1147AUR A-021 Issue D	23/08/18	19 September 2018
Mezzanine Plan Lot 1147, prepared by Devcon Building Co.	L1146-1147AUR A-021A Issue D	23/08/18	19 September 2018

Roof Plan, prepared by Devcon Building Co	L1146-1147AUR A-027 Issue D	23/08/18	19 September 2018
Elevations, prepared by Devcon Building Co	L1146-1147AUR A-030 Issue D	23/08/18	19 September 2018
Sections, prepared by Devcon Building Co	L1146-1147AUR A-031 Issue D	23/08/18	19 September 2018
Perspectives, prepared by Devcon Building Co	L1146-1147AUR A-080 Issue D	23/08/18	19 September 2018
Landscape Plan, Operational Works Sheet 1	ED 18173 OPW – 01 Revision A	August 2018	19 September 2018
Landscape Plan, Operational Works Sheet 2	ED 18173 OPW – 02 Revision A	August 2018	19 September 2018
Landscape Plan, Operational Works Sheet 3	ED 18173 OPW – 03 Revision A	August 2018	19 September 2018
Landscape Plan, Operational Works Sheet 4	ED 18173 OPW – 04 Revision A	August 2018	19 September 2018
Drawing Index and Standard Notes, prepared by Empire Engineering	SC-7686 C001 Issue A	13.08.18	19 September 2018
Erosion and Sediment Control Plan	SC-7686 C010 Issue A	13.08.18	19 September 2018
Erosion and Sediment Control note and Details	SC-7686 C011 Issue A	13.08.18	19 September 2018
Siteworks and Drainage Plan Sheet 1 of 2	SC-7686 C020 Issue A	13.08.18	19 September 2018
Siteworks and Drainage Plan Sheet 2 of 2	SC-7686 C021 Issue A	13.08.18	19 September 2018
Bio Retention Basin Notes and Details	SC-7686 C022 Issue A	13.08.18	19 September 2018
Pavement Plan Sheet 1 of 2	SC-7686 C030 Issue A	13.08.18	19 September 2018
Pavement Plan Sheet 2 of 2	SC-7686 C031 Issue A	13.08.18	19 September 2018
Pavement and Retaining Wall Notes and Details	SC-7686 C032 Issue A	13.08.18	19 September 2018
Signs and Linemarking Plan – Sheet 1 of 2	SC-7686 C040 Issue A	13.08.18	19 September 2018
Signs and Linemarking Plan – Sheet 2 of 2	SC-7686 C041 Issue A	13.08.18	19 September 2018
Vehicle Movement Analysis	SC-7686 C050 Issue A	13.08.18	19 September 2018

The endorsed documents are enclosed for your records.

Yours sincerely

Sec. 4(4)(b) - Disclosing personal information

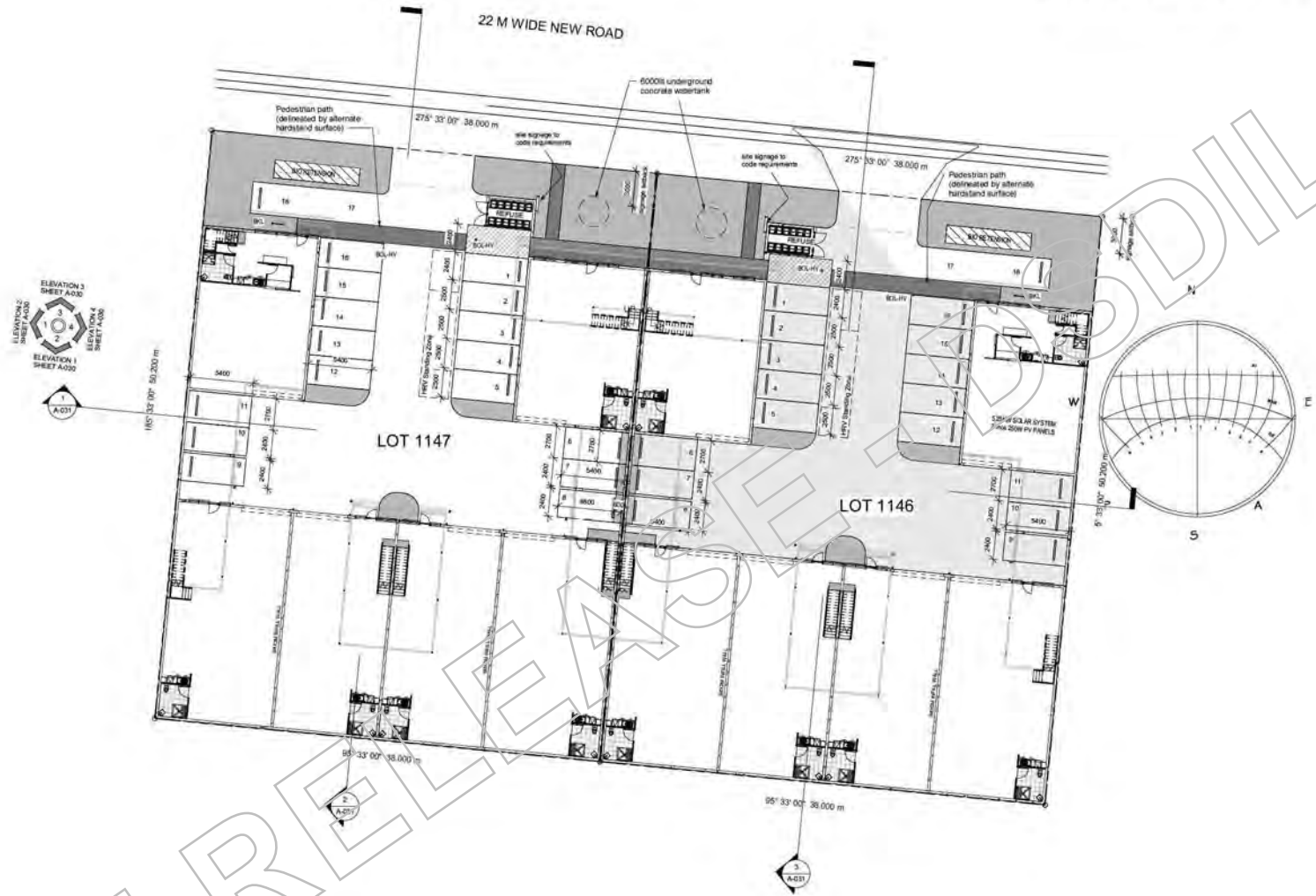
Brandon Bouda
Manager
Development Assessment
Economic Development Queensland

RTI RELEASE - DSDIL GP

ELECTRICAL NOTE

LIGHT ENAMATING FROM ANY SOURCE TO COMPLY WITH AUSTRALIA STANDARD AS4282 (CONTROL OF OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING)

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- Report discrepancies to the DEVCON before carrying out work.



1 SITE PLAN at GR LVL
1 : 200

DOCUMENT STATUS & REVIEW			
Issue	Date	Milestone	Check

AMENDMENTS	
No.	Description

PROJECT
**at Lot 1146-1147
Hancock Way
BARINGA**

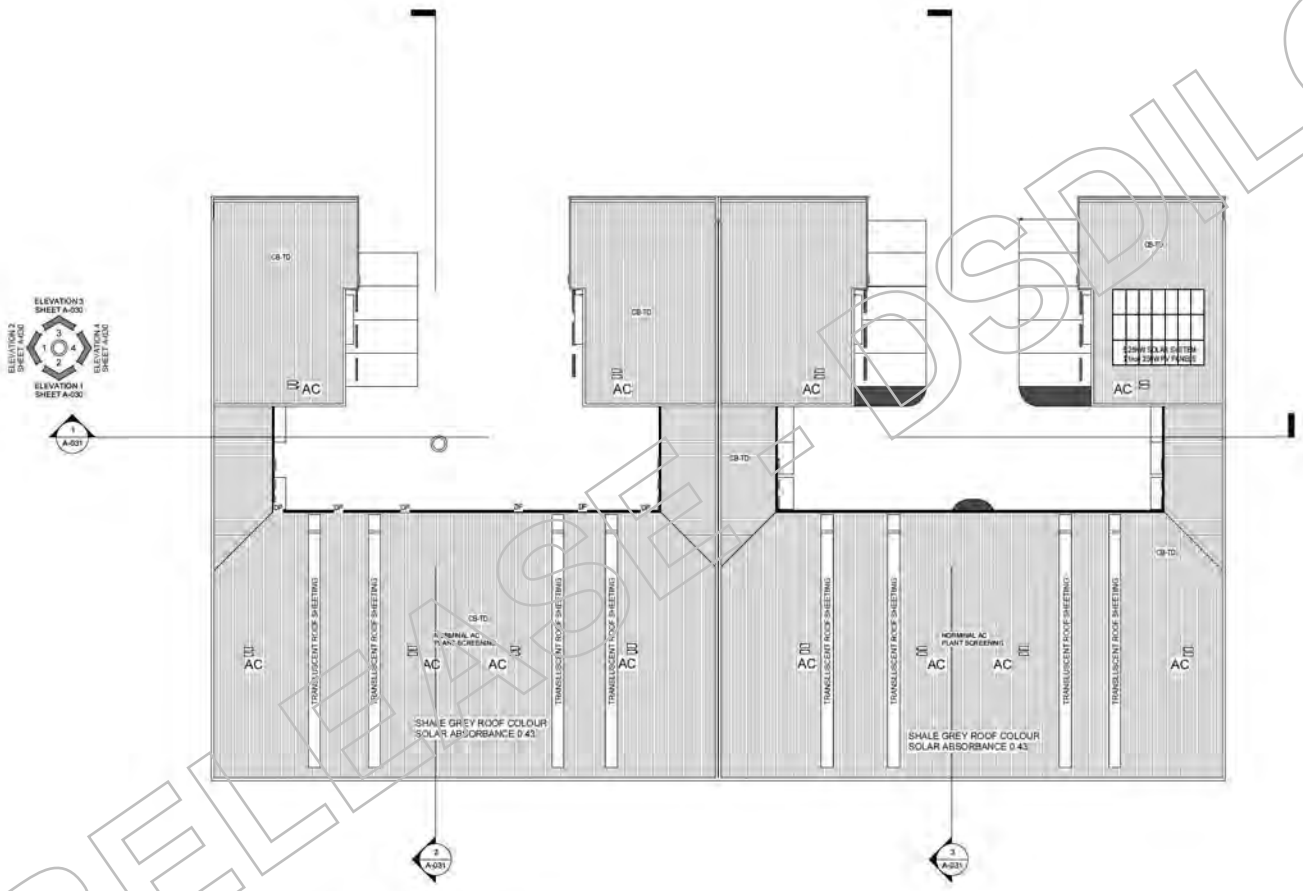
CLIENT
**DEVCON BUILDING
CO**

DEVCON
BUILDING CO

P. O. BOX 1296
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE: 07 5370 1800

QBCC 64758

DRAWING TITLE			
SITE PLAN AT GROUND LEVEL			
Author	Checker	Date	Scale
gjh		23 Aug 18	1 : 200 @
gjh res.			
Drawing no.		Issue	
L1146-1147AUR		A-011 D	



ROOF LEVEL
SCALE: 1 : 200

ROOF WATER DRAINAGE
ALL ROOFWATER DRAINAGE SYSTEMS MUST BE CONNECTED TO A STORMWATER DRAINAGE SYSTEM COMPLYING WITH BCA PART 3.5.2 DRAINAGE OR AS/NZS3500.

THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING.

THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM BCA TABLE 3.5.2.1 OR FROM AS/NZS3500.

GUTTERS AND DOWNPIPES MUST BE SELECTED FROM BCA TABLE 3.5.2.2 OR FROM AS/NZS3500.

LEAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100 WITH SUPPORT BRACKETS AT 1.2m MAXIMUM CENTRES.

BOX GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100, IN ACCORDANCE WITH AS/NZS3500.3.

THE WIDTH OF VALLEY GUTTERS SHALL BE IN ACCORDANCE WITH AS/NZS3500.3 AND BCA PART 3.5.2.

REFER TO ROOF SHEETING MANUFACTURERS SPECIFICATIONS FOR LIMITATIONS ON SHEET OVERHANGS INTO VALLEY GUTTERS. THE MAXIMUM ROOF CATCHMENT AREA FOR VALLEY GUTTERS IS 20m². VALLEY GUTTERS ON ROOF PITCHED LESS THAN 12.5° MUST BE DESIGNED AS BOX GUTTERS.

DOWNPIPES MUST SERVE NOT MORE THAN 12 METRES OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS.

LEAVES GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 1.2 METRES FROM A VALLEY GUTTER.

LEGEND	
Abbreviation	Description
AC	Asph/Flt Shingles
TS	Translucent Roof Sheet

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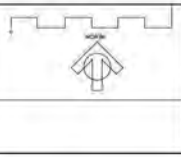
AMENDMENTS	
No.	Description

DEVCON
BUILDINGS CO.
P.O. BOX 1296
145 LITANA STREET
BUNDINA QLD 4282
PHONE 07 5370 1800
@BCC 54758

PROJECT
PROPOSED BUILDING
at Lot 1146-1147 Hancock Way BARINGA

CLIENT
DEVCON BUILDING CO

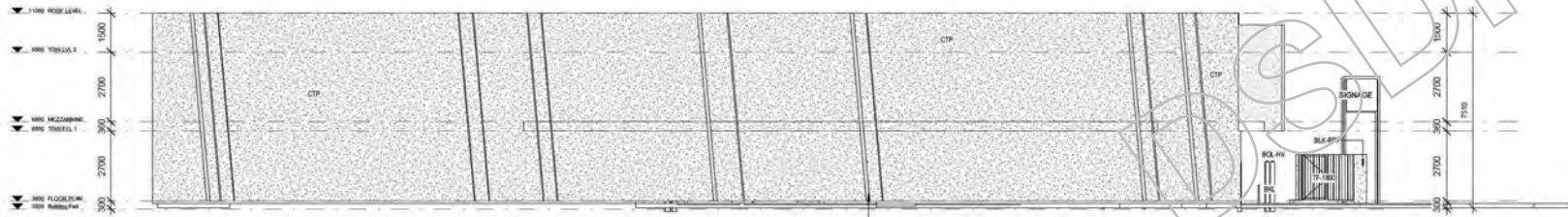
DRAWING TITLE
ROOF PLAN



DATE	DESCRIPTION	BY	ISSUE
CCL	CGL	19 Apr 2018	1 : 200 @
JOB NO.	DRAWING NO.	ISSUE	A1
L1146-1147AUR	A-027	D	



ELEVATION 1
SCALE: 1 : 100



ELEVATION 2
SCALE: 1 : 100

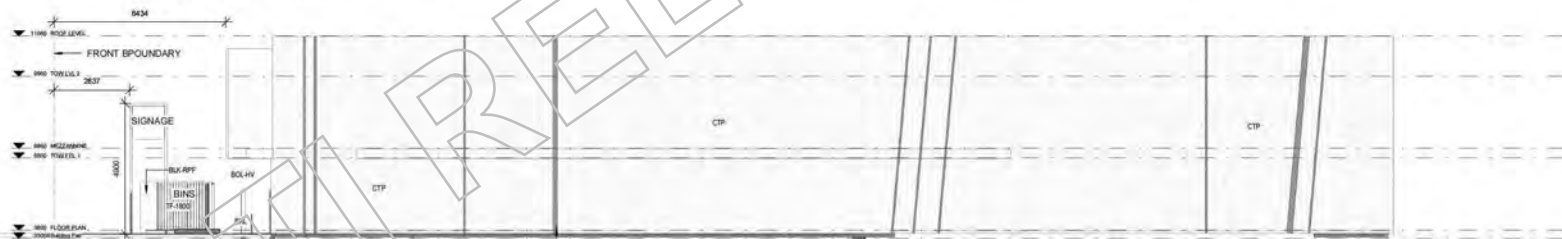
LEGEND

Abbreviation	Description
CBWS	CONCRETE WALL SYSTEM
B.L.H.V.	BALCONY HANDRAIL
B.L.K.R.F.F.	BALCONY RAILING
CTP	CONCRETE TILT UP PANELS
CL	CONCRETE LINTEL
CLM	CONCRETE LINTEL MOUNTING
CLP	CONCRETE LINTEL PANEL
CLF	CONCRETE LINTEL FINISH
CLD	CONCRETE LINTEL DETAIL
CLB	CONCRETE LINTEL BRACKET
CLT	CONCRETE LINTEL TIE
CLV	CONCRETE LINTEL VERTICAL
CLH	CONCRETE LINTEL HORIZONTAL
CLD	CONCRETE LINTEL DETAIL
CLB	CONCRETE LINTEL BRACKET
CLT	CONCRETE LINTEL TIE
CLV	CONCRETE LINTEL VERTICAL
CLH	CONCRETE LINTEL HORIZONTAL

ROOF - COLOURBOND COLOUR 'SHALE GREY' (SOLAR ABSORBANCE 0.43)



ELEVATION 3
SCALE: 1 : 100



ELEVATION 4
SCALE: 1 : 100

LEGEND

Abbreviation	Description
CBWS	CONCRETE WALL SYSTEM
B.L.H.V.	BALCONY HANDRAIL
B.L.K.R.F.F.	BALCONY RAILING
CTP	CONCRETE TILT UP PANELS
CL	CONCRETE LINTEL
CLM	CONCRETE LINTEL MOUNTING
CLP	CONCRETE LINTEL PANEL
CLF	CONCRETE LINTEL FINISH
CLD	CONCRETE LINTEL DETAIL
CLB	CONCRETE LINTEL BRACKET
CLT	CONCRETE LINTEL TIE
CLV	CONCRETE LINTEL VERTICAL
CLH	CONCRETE LINTEL HORIZONTAL

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AMENDMENTS

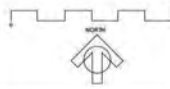
NO.	DATE	DESCRIPTION

DEVCON
BUILDING Co.
P. O. BOX 1298
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE: 07 5370 1800
QBCC 54758

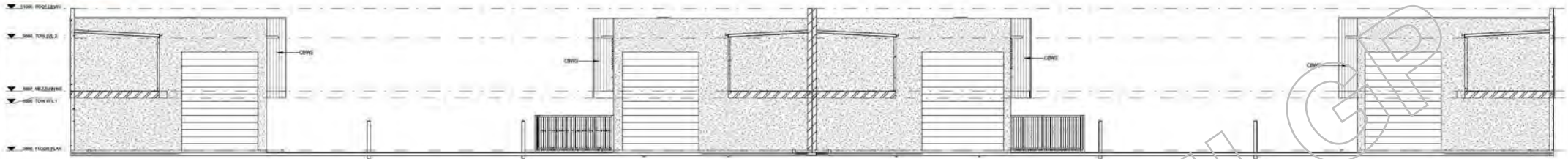
PROJECT
PROPOSED BUILDING
at Lot 1146-1147 Hancock Way BARINGA

CLIENT
DEVCON BUILDING CO

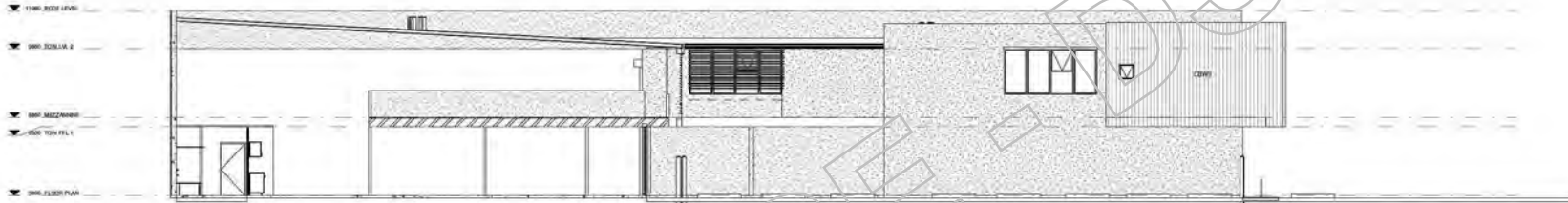
DRAWING TITLE
ELEVATIONS



DATE	CHECK	DATE	SCALE
SD	XX	19 Apr 2018	1 : 100 @
job no.	dwg no.	issue	A1
L1146-1147AUR	A-030	D	



SECTION 1
SCALE: 1 : 100



SECTION 2
SCALE: 1 : 100

LEGEND	
Abbrivation	Description



SECTION 3
SCALE: 1 : 100

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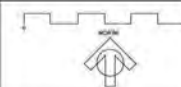
AMENDMENTS	
NO.	DESCRIPTION

DEVCON
BUILDING Co
P. O. BOX 12986
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE: 07 5370 1800
QBCC 54758

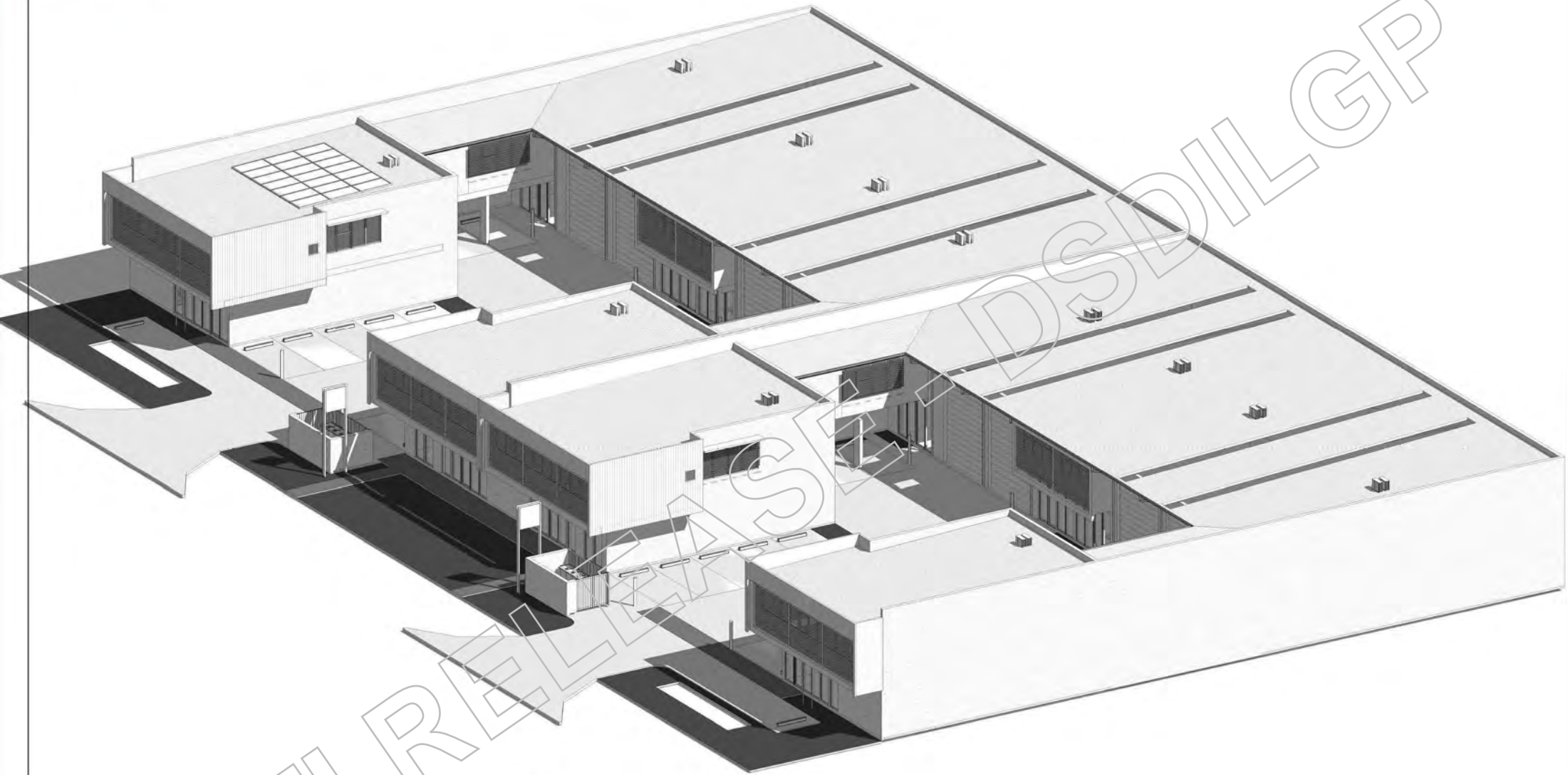
PROJECT
PROPOSED BUILDING
at Lot 1146-1147 Hancock Way BARINGA

CLIENT
DEVCON BUILDING CO

DRAWING TITLE
SECTIONS



DATE	BY	CHKD	ISSUED	SCALE
SD	SD	19 Apr 2018	1:100	@
JOB NO:		DRAWG NO:		ISSUE:
L1146-1147AUR		A-031		D



2 VIEW 2

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- Do not scale off these drawings.
- Report discrepancies to the DEVCON before carrying out work.

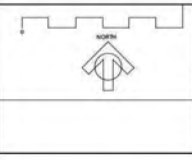
AMENDMENTS			
NO.	DATE	DESCRIPTION	BY

DEVCON
 BUILDING CO
 P. O. BOX 1298
 14/5 LUTANA STREET
 BUDDINA QLD 4575
 PHONE: 07 5370 1800
 QBCC 54758

PROJECT
PROPOSED BUILDING
 at Lot 1146-1147 Hancock Way BARINGA

CLIENT
DEVCON BUILDING CO

DRAWING TITLE
PERSPECTIVES



DATE	CHKD	APP	SCALE
SD	XX	19 Apr 2018	@ A1
JOB NO.		DRAWG NO.	
L1146-1147AUR		A-080	
			D

ENDORSED

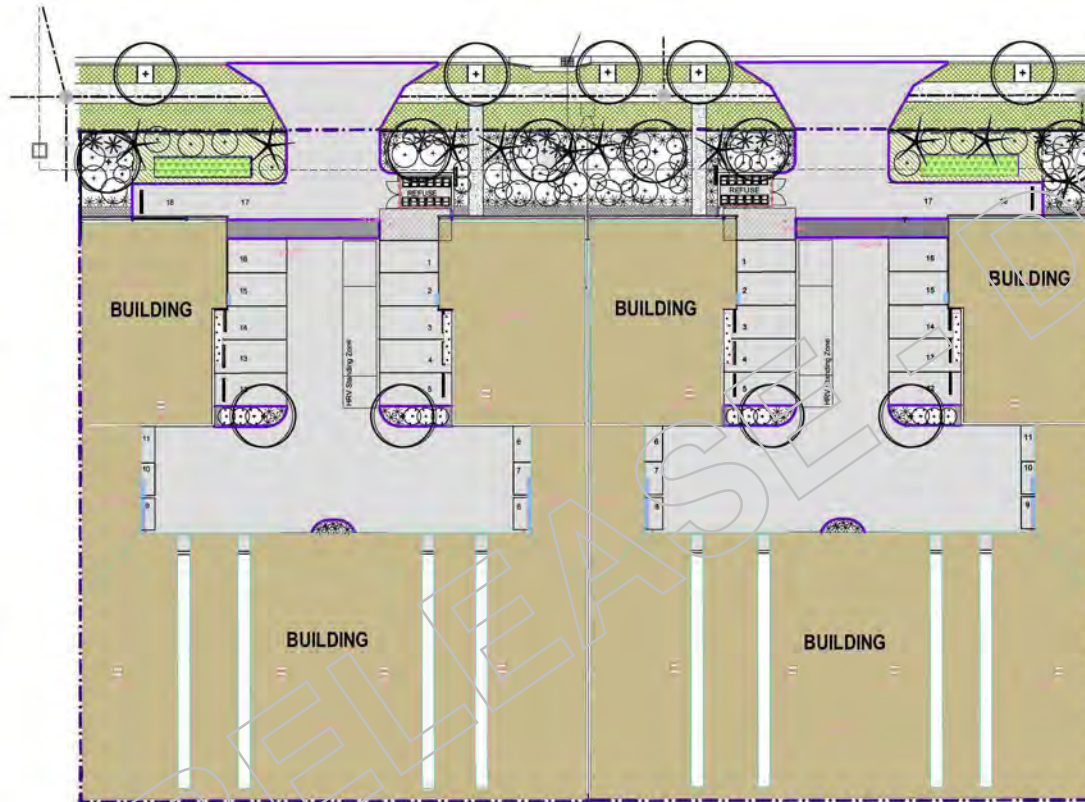
Date: 19 SEP 2018

MEDQ



Sheet 02

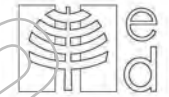
HANCOCK WAY



PROPOSED INDUSTRIAL DEVELOPMENT AT HANCOCK WAY, AURA ESTATE.

SHEET LEGEND - SHEET 01 - OVERALL SITE LAYOUT SHEET 02 - LANDSCAPE PLANTING SHEET 03 - SCHEDULES / SPECIFICATION SHEET 04 - LANDSCAPE DETAILS

LANDSCAPE DOCUMENTATION / OPW - SHEET 01



PLEASE NOTE THIS LANDSCAPE PLAN DOES NOT TAKE INTO ACCOUNT ANY UNFORESEEN SUBSURFACE ROCK FORMATIONS

APPROVED BY: [Signature] DATE: 18-09-2018 FOR APPROVAL



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PROPOSED INDUSTRIAL PROJECT AT LOTS 1146-1147, HANCOCK WAY, AURA PRECINCT STAGE 1.

DEVCON BUILDING CO.

LANDSCAPE PLAN OPERATIONAL WORKS

Scale A ED 18173 OPW - 01



Date: AUGUST 2018 Scale: 1:600 @ A1 Design: NH Drawn: NH Sheet: 01 OF 04

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Date: 19 SEP 2018

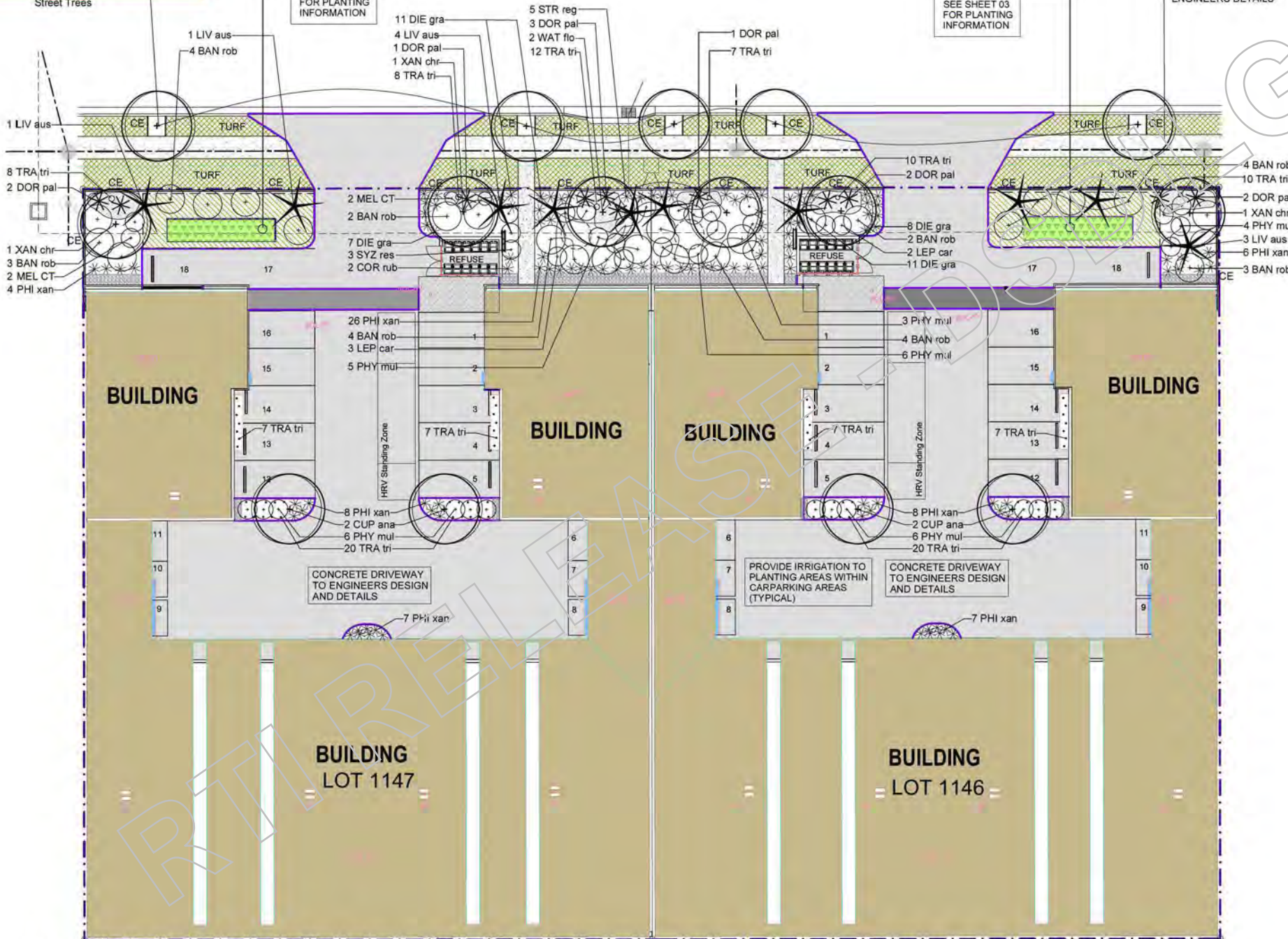
5 CUP ana
NOE to
AS2303 for
Street Trees

Queenland
Government

B-RB 1.
SEE SHEET 03
FOR PLANTING
INFORMATION

B-RB 2.
SEE SHEET 03
FOR PLANTING
INFORMATION

1200 WIDE CONCRETE
FOOTPATH TO SCC DESIGN
REQUIREMENTS AND
ENGINEERS DETAILS



LEGEND

PLANTING

- TREE PLANTING
- PALM PLANTING
- SHRUB PLANTING
- ACCENT PLANTING
- TURF
- BIO-RETENTION BASE PLANTING AREA
- BIO-RETENTION BATTER PLANTING AREA

HARD LANDSCAPE

- 90mm CHARCOAL COLOURED CONCRETE EDGE
- 20-40mm RIVER GRAVEL WHERE SHOWN

CONTEXT

- BOUNDARY

PLEASE NOTE THIS LANDSCAPE PLAN DOES NOT TAKE INTO ACCOUNT ANY UNDETERMINED SUBSURFACE ROCK FORMATIONS.

AMENDMENTS:
DATE: 19/09/2018
BY: J. BULLOCK



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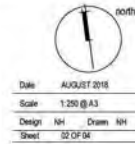
131 Brisbane Rd., Moorooka
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PO Box 1544, Brisbane QLD 4256
www.elementdesign.com.au

PROJECT: PROPOSED INDUSTRIAL
PROJECT AT LOTS 1146-1147,
HANCOCK WAY,
AURA PRECINCT STAGE 1.

CLIENT: DEVCON BUILDING CO.

TYPE: LANDSCAPE PLAN
OPERATIONAL WORKS

Sheet **A**
ED 18173 OPW - 02



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PLANT SCHEDULE

element design™
ED 18173 Issue A

Contractor to confirm plant quantities prior to ordering

TREE SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
CUP ana	<i>Cupaniopsis anacardioides</i>	Tuckeroo	100 litre (clr 1.0m)	5
CUP ana	<i>Cupaniopsis anacardioides</i>	Tuckeroo	NATSPEC CERT	
CUP ana	<i>Cupaniopsis anacardioides</i>	Tuckeroo	45 litre	4
LIV aus	<i>Livistonia australis</i>	Cabbage Palm	45 litre	9
WAT flo	<i>Waterhousia floribunda</i>	Weeping Lilly	100 litre	2
XAN chr	<i>Xanthostemon chrysanthus</i>	Golden Penda	100 litre	3
SHRUB SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
COR rub	<i>Cordyline rubra</i>	Red Cordyline	200 pot	2
BAN rob	<i>Banksia robur</i>	Swamp Banksia	200 pot	26
DIE gra	<i>Dietes grandiflora</i>	Large Wild Iris	200 pot	37
DOR pal	<i>Doryanthes palmerii</i>	Spear Lilly	200 pot	11
LEP car	<i>Leptospermum Cardwell</i>	Cardwell	200 pot	5
MEL CT	<i>Melalucea Claret Tops</i>	Claret Tops	200 pot	4
PHI xan	<i>Philodendron xanadu</i>	Xanadu	200 pot	51
PHY mul	<i>Phyllanthus multiflora</i>	Green Waterfall	200 pot	29
STR reg	<i>Strelitzia regina</i>	Bird of Paradise	200 pot	5
SYZ res	<i>Syzygium Resilience</i>	Resilience	200 pot	3
GROUNDCOVER SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
TRA tri	<i>Trachloospermum tri-color</i>	Tricolor Jasmine	140 pot	137

SPECIFICATION FOR LANDSCAPE WORKS	
SCOPE	PERFORMANCE
GENERAL CONDITIONS	<ul style="list-style-type: none"> ALL LANDSCAPE CONSTRUCTION WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH RELEVANT COUNCIL APPROVALS AND TO INDUSTRY BEST PRACTICE. ANY CHANGES FROM DESIGN DOCUMENTATION MUST BE APPROVED BY PROJECT LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION ON SITE. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE UNDERTAKEN WHERE NECESSARY TO ENSURE NO DETRIMENTAL EFFECT TO DOWNSTREAM WATERWAYS OR NEIGHBOURING SITES.
SITE PREPARATION / EARTHWORKS	<ul style="list-style-type: none"> PRIOR TO COMMENCEMENT OF WORKS, EXISTING SITE CONDITION IS TO BE DOCUMENTED BY CONTRACTOR. ALL EXISTING AND PROPOSED SERVICES ON SITE ARE TO BE LOCATED AND CLEARLY IDENTIFIED. ALL BUILDING RUBBISH AND DELETERIOUS MATERIALS ARE TO BE REMOVED FROM SITE TO APPROVED WASTE LOCATION. LANDSCAPE AREAS SHALL BE SCARIFIED TO A DEPTH OF 150mm TO PROMOTE GOOD GROWTH FOR TURF AND PLANTING.
MATERIALS / SERVICES	<ul style="list-style-type: none"> ALL MATERIALS TO BE USED IN THE CONSTRUCTION OF THE DESIGNED LANDSCAPE ARE TO BE OF AN INDUSTRY STANDARD QUALITY AND FROM A SUSTAINABLE SOURCE WHERE POSSIBLE. NO MATERIALS USED ON SITE SHALL BE TOXIC TO HUMANS, ANIMALS OR PLANTS. ALL SELECT ITEM MATERIALS ARE TO BE APPROVED BY CLIENT PRIOR TO CONSTRUCTION ON SITE. PROVIDE SERVICE CONDUITS TO ALL GARDEN BEDS FOR IRRIGATION AND DRAINAGE PURPOSE. PROVIDE CONDUITS FOR LIGHTING WHERE REQUIRED. ENSURE ADEQUATE DRAINAGE TO PLANTING AREAS FOR SPECIFIC SITE SOIL CONDITIONS VIA THE USE OF SLOTTED AGRICULTURAL DRAIN (SELECT TYPE FOR APPLICATION). OVERLAND FLOW PATHS WITHIN GARDENS (SELECT RIVER GRAVEL OR GEOTEXTILE MATERIAL) AND SURFACE STORMWATER PITS (LOCATED IN GENERALLY CONCEALED POSITIONS).
HARDSCAPE	<ul style="list-style-type: none"> PROPOSED HARDSCAPE ITEMS ARE TO BE CONSTRUCTED TO AUSTRALIAN STANDARDS AND RELEVANT COUNCIL CODES BY A SUITABLY LICENCED CONTRACTOR. WORKPLACE HEALTH AND SAFETY REGULATIONS MUST BE IMPLEMENTED DURING CONSTRUCTION PHASE.
PLANT MANAGEMENT	<ul style="list-style-type: none"> ALL PLANT SPECIES ARE DETAILED WITHIN THE PLANT SCHEDULE. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR ACCEPTANCE BY COUNCIL AND PROJECT LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL OBTAIN ALL PLANTS AS SPECIFIED FROM AN ACCREDITED NURSERY OR OTHER APPROVED SOURCE. PLANTS SHALL BE HEALTHY, HARDY AND OF GOOD FORM. THE ROOT SYSTEM OF EACH PLANT SHOULD NOT BE ROOTBOUND AND BE CONDUCTIVE TO SUCCESSFUL TRANSPLANTATION. ALL PLANTS TO BE PEST AND DISEASE FREE WITH CONTAINERS FREE FROM WEEDS. STREET TREE SPECIES ARE TO COMPLY WITH NATSPEC AND RELEVANT COUNCIL CONDITIONS. STAKE TREES WITH A MIN. OF TWO, 50x50 (W/D STAKES) AND HESSON STRAP OR SIMILAR AS NOT TO DAMAGE TREE. FUTURE 'W' DETAIL RECOMMENDED. NO TYPE OF STAKE TO BE PLACED THROUGH ROOTBALL OF PLANT AT ANY TIME. EACH PLANT TO HAVE ADDED WATER CRYSTALS TO PLANTING HOLE AND WATERED IN AFTER PLANTING AS REQUIRED. PLANT STOCK MAY BE REJECTED IF NOT CONFORMING WITH ABOVE SPECIFICATIONS.
SOFTSCAPE	<ul style="list-style-type: none"> SETOUT OF ALL SOFTSCAPE AREAS TO BE IN ACCORDANCE WITH APPROVED PLANS. PLANTING AREAS TO BE MOUND TO ACHIEVE ADEQUATE DRAINAGE AND AESTHETIC PRESENTATION. AS 4419-2003, SOILS FOR LANDSCAPING AND GARDEN USE: SOIL - A GOOD QUALITY FRABLE, MODERATELY DRAINING, ORGANIC ENRICHED LANDSCAPING SOIL MIX SHALL BE IMPORTED FROM AN APPROVED SOURCE. THE SOIL SHOULD NOT CONTAIN ANY CLAY AND BE FREE FROM CONTAMINANTS SUCH AS WEEDS, STICKS AND ROCKS. IMPLEMENTATION WITHIN GARDEN AREAS TO A MIN. OF 300mm DEPTH. AS 4454-2003, COMPOSTS, SOIL CONDITIONS AND MULCHES: ORGANIC MULCH - HOOP PINE MULCH IN ITS VARIETY OF FORMS IS TO BE SUPPLIED AND INSTALLED TO A MIN. DEPTH OF 100mm. MULCH IS TO BE FREE OF FOREIGN MATTER INCLUDING WEEDS, SOIL, STICKS AND ROCKS. AVOID PLACEMENT OF MULCH AGAINST STEM OR TRUNK OF PLANTS. GRADE MULCH TO BE SELF RETAINED WITHIN GARDEN EDGING. GRAVEL MULCH - SELECTED WASHED RIVER MULCH GRADED IN SIZE AND COLOUR. USE IN AREAS AS SPECIFIED ON PLANS. TO BE USED TO SEPERATE ORGANIC MULCH FROM THE WALLS OF BUILDINGS, ADJACENT PATHS AND TO FACILITATE DRAINAGE WITHIN GARDEN BEDS. MIN. DEPTH TO BE TWICE THE DIAMETER OF THE LARGEST PEBBLE.
TURF (GREEN COUCH)	<ul style="list-style-type: none"> TURF SHALL CONSIST OF A DENSE, WELL ROOTED, VIGOROUS GRASS GROWTH WITH MIN. 25mm OF TOPSOIL. TURF IS TO BE DELIVERED TO SITE WITHIN 24 HOURS OF BEING CUT. TURF SHOULD BE FREE FROM DELETERIOUS MATERIAL INCLUDING WEEDS, SEEDS OR ROOTS INCLUDING NET GRASS AND OXALIS. TURF SHALL BE SUPPLIED IN UNIFORM SIZE IN UNBROKEN CONDITION. MOISTURE LEVEL OF TURF TO REMAIN CONSISTANT DURING LAYING. TURF TO BE LAID ALONG CONTOUR AND PINNED IF GREATER THAN 1:4 SLOPE. PREPARE SUBGRADE TO A LEVEL BASE WITH AN APPROVED TOPSOIL AND SPREAD UNDER TURF FERTILIZER AT RECOMMENDED RATE. TURF TO FINISH LEVEL WITH PATHS, EDGES AND KERBS AFTER ROLLING AND SETTLEMENT.
IRRIGATION (to be confirmed)	<ul style="list-style-type: none"> IRRIGATION TO BE INSTALLED BY A SUITABLY QUALIFIED CONTRACTOR AND BE INSTALLED IN ACCORDANCE WITH ALL COUNCIL WATER REGULATIONS. THE MOST WATER EFFICIENT METHOD OF IRRIGATION IS TO BE USED. CONNECTED TO TANK SUPPLY WHERE POSSIBLE. CONDUITS TO BE LAID TO ALL GARDEN AREAS TO PROVIDE A REGULATED COVERAGE. FLUSH AND PRESSURE TEST PRIOR TO COMMISSIONING. PROVIDE AS CONSTRUCTED DRAWINGS CLEARLY SHOWING LOCATION OF ALL IRRIGATION COMPONENTRY.
LANDSCAPE ESTABLISHMENT PERIOD	<ul style="list-style-type: none"> THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF ALL LANDSCAPE WORKS FOR A PERIOD OF 13 WEEKS AFTER COMPLETION. MAINTENANCE IS TO INCLUDE MOWING OF TURF, REMOVAL AND SPRAYING OF WEEDS, PRUNING AND TRIMMING OF SHRUBS WHERE REQUIRED, REPLACEMENT OF DEAD OR DISEASED PLANT STOCK AND CORRECT WORKING OF IRRIGATION SYSTEM. WATER IS TO BE PROVIDED TO ALL SOFT LANDSCAPING AT A REQUIRED RATE DURING THE ESTABLISHMENT PERIOD TO ENSURE HEALTHY AND VIGOROUS GROWTH.

PLEASE NOTE THIS LANDSCAPE PLAN DOES NOT TAKE INTO ACCOUNT ANY UNFORESEEN SUBSURFACE ROCK FORMATIONS.

ENDORSED
A. JAIN 19 SEP 2018 FOR APPROVAL



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PROPOSED INDUSTRIAL PROJECT AT LOTS 1146-1147, HANCOCK WAY, AURA PRECINCT STAGE 1.

DEVCON BUILDING CO.

LANDSCAPE PLAN OPERATIONAL WORKS

ED 18173 OPW - 03

DATE: AUGUST 2018
SCALE: NTS
DESIGN: NH, DASH, NH
DRAWN: GJ, CH, DA

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B-RB 1 & 2 : BIO-RETENTION PLANTING DETAILS

BIO-RETENTION PLANTING DETAILS					
BASIN No.	LOCATION	AREA (sqm)	PLANT DENSITY (qty / sqm)	QUANTITY	SPECIES
B-RB 1.	BASE	11 m2	8	88	BASE (Tubestock) 15% <i>Isolepis nodosa</i> 15% <i>Juncus usitatus</i> 65% <i>Lomandra hystrix</i> 5% <i>Melalucea quinquenervia</i>
	Perimeter	17.5 lin.m	0.75	13	
B-RB 2.	BASE	11 m2	8	88	BATTER (140 pot) <i>Baeckea frutescens</i> <i>Lomandra hystrix</i> (+perimeter zone) <i>Banksia Robur</i> <i>Hovea acutifolia</i> <i>Dodonaea viscosa</i>
	Perimeter	17.5 lin.m	0.75	13	

DETAILS FOR PLANTING DENSITIES AND SPECIES REFERENCED FROM WSUD TECHNICAL DESIGN GUIDELINES SOUTH EAST QUEENSLAND - VERSION 1 OCTOBER 2012

BIO-RETENTION PLANTING RATIONALE

BIO-RETENTION FILTER'S PRIMARY FUNCTION IS FOR WATER QUALITY TREATMENT. IT IS AN AREA WHICH WILL BE PERIODICALLY INUNDATED WITH WATER AND PERMANENTLY OR PERIODICALLY SUPPORT THE GROWTH OF MACROPHYTE SPECIES. IT SHOULD BE DESIGNED, OPERATED AND MAINTAINED AS A SUSTAINABLE FACILITY TO PROVIDE THE DESIRED LEVEL OF STORMWATER TREATMENT. CORRECT DESIGN, CONSTRUCTION AND MAINTENANCE OF THE FACILITY WILL ENSURE THAT DISCHARGES ARE OF SUCH QUALITY THAT ENVIRONMENTAL VALUES OF DOWNSTREAM RECEIVING WATERS ARE PROTECTED OR ENHANCED.

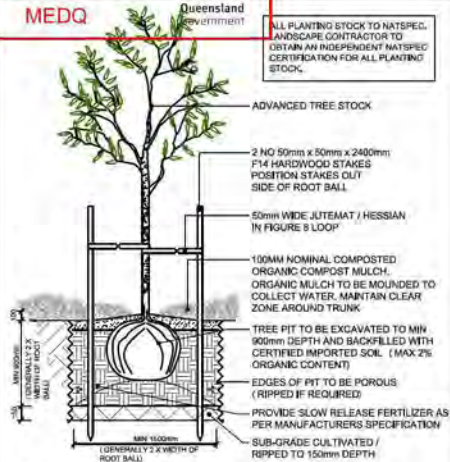
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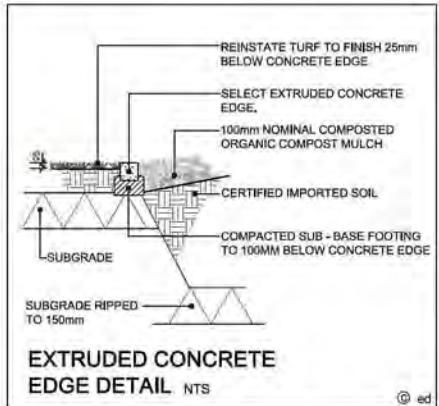
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Queensland Government

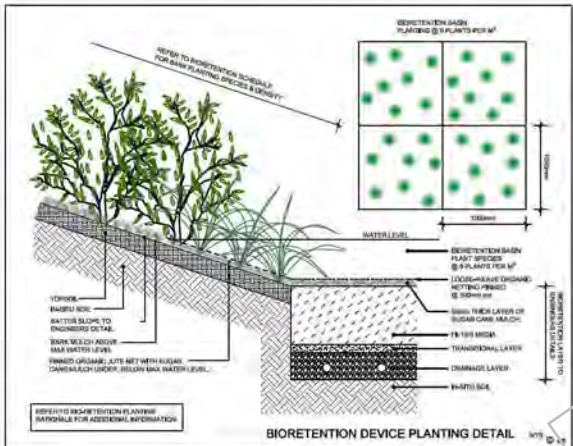
ALL PLANTING STOCK TO NATSPEC. LANDSCAPE CONTRACTOR TO OBTAIN AN INDEPENDENT NATSPEC CERTIFICATION FOR ALL PLANTING STOCK.



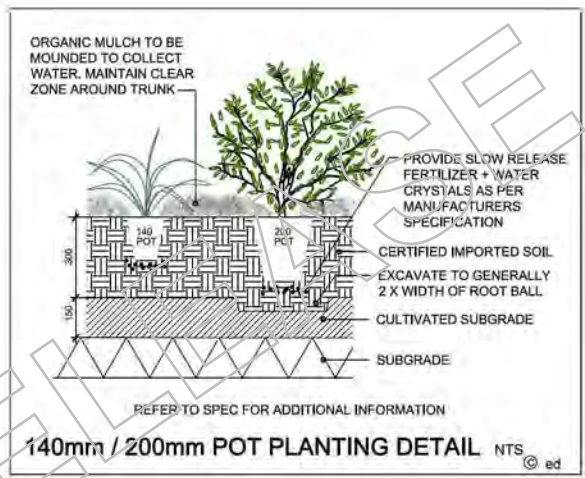
ADVANCED TREE STOCK PLANTING DETAIL NTS



EXTRUDED CONCRETE EDGE DETAIL NTS



BIORETENTION DEVICE PLANTING DETAIL NTS



140mm / 200mm POT PLANTING DETAIL NTS



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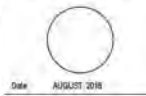
APPENDICES A - LANDSCAPE DESIGN APPROVAL



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PROPOSED INDUSTRIAL PROJECT AT LOTS 1146-1147, HANCOCK WAY, AURA PRECINCT STAGE 1. DEVCON BUILDING CO.

LANDSCAPE PLAN OPERATIONAL WORKS
A
ED 18173 OPW - 04



Date: AUGUST 2018
Scale: NTS
Design: NH, Design: NH
Sheet: 04 OF 04

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PROPOSED INDUSTRIAL DEVELOPMENT

LOT 1146-1147 HANCOCK WAY, AURA PRECINCT 3 - STG 1

for DEVCON BUILDING Co.



SITE LOCATION PLAN

SITE ADDRESS: LOT 1146-1147 HANCOCK WAY, AURA PRECINCT 3 - STAGE 1
NTS

SITE DESCRIPTION

LOTS 1146-1147
PLAN RP209290
SITE AREA 3816m² (TOTAL)

CIVIL DRAWING INDEX

DRAWING No.	DRAWING DESCRIPTION
C001	DRAWING INDEX AND STANDARD NOTES
C005	CONSTRUCTION MANAGEMENT PLAN
C010	EROSION AND SEDIMENT CONTROL PLAN
C011	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
C020	SITWORKS AND DRAINAGE PLAN - SHEET 1 OF 2
C021	SITWORKS AND DRAINAGE PLAN - SHEET 2 OF 2
C022	810 RETENTION BASIN NOTES AND DETAILS
C030	PAVEMENT PLAN - SHEET 1 OF 2
C031	PAVEMENT PLAN - SHEET 2 OF 2
C032	PAVEMENT AND RETAINING WALL NOTES AND DETAILS
C040	SIGNS AND LINEMARKING PLAN - SHEET 1 OF 2
C041	SIGNS AND LINEMARKING PLAN - SHEET 2 OF 2
C050	VEHICLE MOVEMENT ANALYSIS

ENDORSED

Date: 19 SEP 2018

MEDQ



GENERAL

- G1. READ THESE DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL AND OTHER ENGINEERING DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED.
- G2. VERIFY SET OUT DIMENSIONS SHOWN ON THE DRAWINGS BEFORE SITE WORKS, CONSTRUCTION AND FABRICATION COMMENCES. REFER ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- G3. DO NOT OBTAIN DIMENSIONS BY SCALING FROM THE DRAWINGS.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT S.A.A. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G5. THE STRUCTURAL WORK SHOWN ON THE DRAWINGS HAS BEEN DESIGNED FOR THE LOADS SET OUT IN THE TABLE BELOW IN ACCORDANCE WITH AS-1179 PARTS 1 & 2.
- G6. FORTY-EIGHT (48) HOURS NOTICE MUST BE GIVEN TO THE ENGINEER PRIOR TO ANY CONCRETE POURS OR OTHER SIMILARLY CRUCIAL PHASES OF CONSTRUCTION.
- G7. PROVIDE SURFACE DRAINS AS SHOWN ON TYPICAL SECTIONS, MAYBE OMITTED WHERE STORMWATER PIPES ARE SHOWN ON HYDRAULIC CONSULTANTS DRAWINGS.
- G8. NOTIFY ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT OF WORK WITHIN EXISTING ROAD RESERVES.
- G9. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SERVICES WITHIN THE SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES WHETHER SHOWN ON THE DRAWINGS OR NOT.
- G10. ALL WORK SHALL CONFORM WITH THE RELEVANT LOCAL AUTHORITY'S SPECIFICATIONS, STANDARD DRAWINGS AND CONDITIONS OF APPROVAL.
- G11. REFER TO ARCHITECTURAL SPECIFICATION FOR ALL SET OUT DIMENSIONS, FINISHES, FLASHINGS, WATERPROOFINGS, ETC.

CLEARING OF VEGETATION

- V1. NO CLEARING SHALL BE CARRIED OUT BEYOND THE EXTENT OF EARTHWORKS OR WHERE NECESSARY FOR SERVICES CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF THE SUPERINTENDENT.
- V2. MILLABLE LOGS ARE TO BE REMOVED FOR SAMPLING.
- V3. SUITABLE MATERIAL IS TO BE MULCHED FOR REUSE ON SITE.
- V4. REFER ENDORSED VEGETATION MANAGEMENT PLAN BY THE PROJECT ECOLOGIST/ARBORIST.
- V5. PRIOR TO SITE WORKS COMMENCING, A FAUNA SPOTTER, QUALIFIED BY ONPWS, SHALL INSPECT THE SITE TO ENSURE IDENTIFICATION OF ANY WILDLIFE (FAUNA) OR HABITAT FEATURES PRIOR TO CLEARING.
- V6. PRIOR TO ANY TREE REMOVAL WORKS, A CERTIFIED FAUNA SPOTTER/CATCHER MUST UNDERTAKE PRE-CLEARING INSPECTIONS INCLUDING FAUNA RELOCATION AND REMOVAL OR BLOCKING OF ALL VACANT HOLLOWES. CLEARING WORKS MUST AVOID NESTING SITES OF ANIMALS AND BIRDS. A QUALIFIED WILDLIFE OFFICER MUST PROTECT AND RECOVER FAUNA (NOT PREVIOUSLY REMOVED) DURING CLEARING OPERATIONS. CO-ORDINATE STAGING AND SEQUENCE OF CLEARING WITH FAUNA PROTECTION, THE TRANSLLOCATION OF ANIMALS AND RECOVERY PROCEDURES.

EARTHWORKS

- E1. ALL WORKS SHALL BE IN ACCORDANCE WITH LOCAL COUNCIL SPECIFICATIONS FOR EARTHWORKS.
- E2. THE SITE HAS THE PRESENCE OF POTENTIAL ACID SULPHATE SOILS (PASS) AND ACTUAL ACID SULPHATE SOILS (AASS). ALL CONSTRUCTION WORKS TAKING PLACE ON THIS SITE ARE TO STRICTLY COMPLY WITH THE RECOMMENDATIONS SPECIFIED IN GOLDFIELD ASSOCIATES 'ACID SULPHATE SOIL MANAGEMENT PLAN'.
- E3. PRIOR TO COMMENCEMENT OF ANY CUTTING OR FILLING, STRIP VEGETATION AND TOPSOIL FROM AREAS TO BE CUT OR FILLED, OR AS OTHERWISE RECOMMENDED IN THE GEOTECHNICAL REPORT.
- E4. REMOVE AND REPLACE EXISTING FILLING MATERIAL. FOLLOWING THE SITE STRIP AND DRIVEWAY SET OUT THE GEOTECHNICAL ENGINEER SHALL BE CALLED TO SITE TO DETERMINE THE PRESENCE OF ANY EXISTING FILL AND ASSOCIATED BATTERS. PROVIDE A BACKFILL FOR THE TEST PIT EXPLORATION. THE ENGINEER MAY DIRECT EXISTING LOOSE FILL TO BE REMOVED AND RECOMPACTED.
- E5. COMPACT AND PROOF ROLL ALL PREPARED SUBGRADE AREAS PRIOR TO PLACING ANY FILLING. COMPACTION SHALL BE 98% RELATIVE COMPACTION AS MEASURED BY THE STANDARD METHOD DESCRIBED IN AS-1088.
- E6. ALL FILLING SHALL BE CLEAN, EXCAVATED MATERIAL FREE FROM TOPSOIL AND VEGETATION. THE EXISTING SITE WOOD MATERIALS MAY CONTAIN RIVERS AND CORNERS AND THESE SHALL BE EXCLUDED OVER 100mm NOMINAL SIZE IN ANY EXISTING MATERIAL USED AS FILLING.
- E7. ALL IMPORTED FILL MATERIAL SHALL BE SOURCED FROM AN APPROVED SUPPLIER BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING:
 - A. FREE FROM ORGANIC, PERSHABLE MATTER OR CONTAMINATED MATERIAL.
 - B. MAXIMUM PARTICLE SIZE 75mm.
 - C. PLASTICITY INDEX MAXIMUM 27% ≤ 15%.
 - D. CLAY LIMIT MAXIMUM 15%.
 - E. MAXIMUM 25% PASSING 0.075mm SIEVE.
 - F. MINIMUM EBH.
 - G. SHERKUP/SWELL INDEX MAXIMUM OF 1.0%.
- E8. ALL FILLING SHALL BE PLACED IN MAXIMUM 200mm LOOSE LAYER THICKNESS WITH EACH LAYER COMPACTED TO AT LEAST 98% RELATIVE COMPACTION AS MEASURED BY THE STANDARD METHOD DESCRIBED IN AS-1088.
- E9. ALL EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS-3788 WITH LEVEL 1 GEOTECHNICAL SUPERVISION AND CERTIFICATION.
- E10. EARTHWORKS TESTING SHALL BE CARRIED OUT BY THE CONTRACTOR IN ACCORDANCE WITH AS-3798.
- E11. THE CONTRACTOR SHALL PROVIDE CERTIFICATION FROM AN RPEQ QUALIFIED GEOTECHNICAL ENGINEER THAT THE WHOLE OF THE EARTHWORKS AND GEOTECHNICAL SUPERVISION COMPLIES WITH AS-3798 SUPERVISION.
- E12. THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS FOR FINISHED LEVEL REQUIREMENTS AND SET-OUT.
- E13. NO WORKS ARE TO COMMENCE ON SITE PRIOR TO FENCING OF THE VEGETATION TO BE PROTECTED AND INSTALLATION OF THE EROSION AND SEDIMENT CONTROL PLAN MEASURES.
- E14. TREE REMOVAL WORKS ARE TO BE UNDERTAKEN BY A SUITABLY QUALIFIED AND INSURED CONTRACTOR. TIMBER IS TO BE REMOVED, REUSED OR RECYCLED IN AN APPROPRIATE AND WHERE POSSIBLE SUSTAINABLE MANNER.
- E15. CONTACT EMPIRE ENGINEERING FOR ELECTRONIC COPY OF TERRAIN MODEL.

REINFORCED CONCRETE

- R1. ALL CONCRETE WORK AND REINFORCEMENT TO BE EXECUTED IN ACCORDANCE WITH THE RELEVANT S.A.A. CODES AND SPECIFICATIONS; IN PARTICULAR THE CURRENT EDITION OF AS-3600.
- R2. REFER DRAWINGS FOR CONCRETE COMPOSITION AND QUALITY.
- R3. CONCRETE TESTING TO CONFORM WITH THE ACCEPTABILITY REQUIREMENTS OF THE CURRENT EDITION OF AS-3600.
- R4. THE CONCRETE SLUMP SHALL NOT BE LESS THAN 75mm AND NOT MORE THAN 100mm.
- R5. ALL CONCRETE IS TO BE VIBRATED IN A TRADESMAN LIKE MANNER, NO WATER BE ADDED ON SITE.
- R6. MIN. CLEAR COVER TO ALL REINFORCEMENT (UNLESS SHOWN OTHERWISE) TO BE IN ACCORDANCE WITH REQUIREMENTS OF AS-3600 AS NOTED IN THE DWS'S.
- R7. CONSTRUCTION JOINTS WHERE NOT SHOWN, SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
- R8. ALL CONCRETE SHALL BE ADEQUATELY VIBRATED INTO PLACE, AND CURED CONTINUOUSLY FOR NOT LESS THAN SEVEN (7) DAYS IN AN APPROVED MANNER.
- R9. SYMBOLS ON DRAWINGS FOR GRADE & TYPE OF REINFORCEMENT ARE AS FOLLOWS:
 - N DENOTES STRUCTURAL GRADE 250 PLAN ROUND BAR TO AS-4471
 - M DENOTES HOT ROLLED GRADE 500 DEFORMED BAR TO AS-4471
 - SL DENOTES HARD DRAWN WIRE REINFORCING FABRIC TO AS-1504
- R10. MAXIMUM CONCRETE AGGREGATE SIZE TO BE 20mm U.N.O.
- R11. DOWEL BARS SHALL BE GROUND IF NECESSARY TO REMOVE ANY PROJECTIONS, BURRS, ETC.
- R12. MINIMUM LAP OF REINFORCEMENT TO BE AS SHOWN ON DRAWINGS.
- R13. LAP MESH THUS:

MIN. LAP L CROSS WIRES
- R14. BAR CHAIRS, DISTRIBUTION REINFORCEMENT ETC. TO BE PROVIDED TO THE SATISFACTION OF THE ENGINEER.
- R15. ALL CONCRETE FALLS ARE TO BE CONFIRMED WITH HYDRAULIC CONSULTANT & ARCHITECT'S DRAWINGS.
- R16. NO PENETRATIONS ARE ALLOWED GREATER THAN 150% OR CONCRETE CAST INTO SLABS GREATER THAN 500 WITHOUT PERMISSION FROM THE ENGINEER.

STORMWATER DRAINAGE

- D1. ALL WORKS SHALL BE IN ACCORDANCE WITH LOCAL COUNCIL REFERENCE SPECIFICATIONS FOR CIVIL ENGINEERING WORK AND LOCAL COUNCIL STANDARD DRAWINGS.
- D2. ALL ROOFWATER CONNECTIONS TO BE UPVC CLASS 'CJ'. FOR DOWNPIPE LOCATIONS REFER HYDRAULIC CONSULTANTS DRAWINGS.
- D3. ALL GRATES WITHIN TRAFFICABLE PAVEMENTS SHALL BE MINIMUM CLASS 'D' LNO.
- D4. ALL STORMWATER DOWNSTREAM OUTLETS SHALL BE COMPLETED ON SITE WITH ENGINEER PRIOR TO COMMENCING STORMWATER CONSTRUCTION.
- D5. THE CONTRACTOR SHALL VERIFY THE DESIGN BY MEANS OF POT-Holing AND SERVICE LOCATING WITH ALL RELEVANT AUTHORITIES FOR SERVICES CROSSING STORMWATER LINES.
- D6. WHERE POSSIBLE, PAVEMENT JOINT LOCATIONS SHALL BE IN LINE WITH SERVICE PIT LIDS AND GRATE FRAMES.
- D7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND INCLUDE COSTS FOR THE FOLLOWING IN THERE CONTRACT PRICE:
 - A. LOCAL COUNCIL INSPECTION FEES
 - B. MAINTENANCE BONDS REQUIRED BY COUNCIL.
 - C. THE SURVEY AND PREPARATION OF AS-CONSTRUCTED DATA IN ACCORDANCE WITH LOCAL COUNCIL GUIDELINES.
 - D. QUALITY CONTROL AND TESTING REGIMES IN ACCORDANCE WITH LOCAL COUNCIL GUIDELINES.

MATERIALS

D8. PIPES WORK SHALL COMPLY WITH THE FOLLOWING UNLESS NOTED OTHERWISE:

SIZE	CLASS	TYPE	JOINTING
150 DIA	SN8	UPVC	ROJ
150 TO 225 DIA	SN8	UPVC	ROJ
300 TO 400 DIA	3	SREP	SPIGOT AND SOCKET (RS)
≥ 475 DIA	3	SREP	INTERNAL FLUSH JOINT WITH EXTERNAL RUBBER BARRIS

STORMWATER DRAINAGE CONT.

- D9. BED ZONE MATERIAL: 5mm OR 10mm SCREENINGS, OR ALTERNATIVELY WASHED SCREENED BEDDING SAND TO GRADING SPECIFRE BELOW TO BED ZONE.

SEIVE SIZE (mm)	PASSING (% BY WEIGHT)
9.50	100
4.75	95 - 100
2.36	75 - 90
1.18	15 - 25
0.60	10 - 20
0.30	5 - 10
0.15	0 - 5
- D10. EMBEDMENT ZONE MATERIAL: 5mm OR 10mm SCREENINGS.
- D11. UNLESS NOTED OTHERWISE BEDDING TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS. FOR ALL PIPES HDZ BEDDING IS TO BE USED. FOR ALL PLASTIC PIPES THE BEDDING MATERIAL IS TO EXTEND 15mm ABOVE THE CROWN OF THE PIPE.
- D12. UNLESS DIRECTED OTHERWISE, PROVIDE PPE STUB TO DENWATER DRAINAGE TRENCH. STUB TO BE 1000mm LONG x 100mm DIA. CORRUGATED POLYETHYLENE PIPE (CLASS 400 TO AS 2439 WITH END CAP) INSTALLED ON THE UPSTREAM FACE OF MANHOLES.
- D13. WORKS UNDER EXISTING PAVEMENT (WHICH IS TO REMAIN IN USE)
 - D13.1 LOCAL AUTHORITY AND STATE CONTROLLED ROADS. UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT NEW WORKS ARE TO BE PLACED BY TUNNEL BORING.
 - D13.2 OTHER PAVEMENTS. TRENCH THROUGH EXISTING ROAD. REFER TRENCH DETAILS ON P/WEAVE STD DRG 0-0930.

TESTING

- D14. ONE (1) FIELD DENSITY TEST PER TWO (2) LAYERS FOR EVERY 45 LINEAR METERS OF TRENCH OR FOR PART THEREOF.

STAGE 05 **FOR APPROVAL**
NOT FOR CONSTRUCTION

Serial	Job Ref No.	Draw No.	Issue
05	SC-7686	C001	A

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Client: DEVCON BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 1146-1147 HANCOCK WAY,
AURA PRECINCT 3 - STAGE 1

Designed: MWJ / J. Brown
Approved: [Signature]
Checked: [Signature]

File: DRAWING INDEX AND STANDARD NOTES

EROSION AND SEDIMENT CONTROL PROGRAM

- THIS PROGRAM AND ASSOCIATED PLANS SHALL BE READ IN CONJUNCTION WITH THE SITE MANAGEMENT SPECIFICATION INCORPORATED IN THE CONTRACT DOCUMENTS. THE PROVISIONS OF THE SPECIFICATION ARE TO BE STRICTLY ADHERED TO.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE A DETAILED PROGRAM TO THE SUPERINTENDENT SHOWING THE TIMING FOR ALL WORKS ASSOCIATED WITH THE PROJECT, NOMINATING, IN PARTICULAR, THE PROGRAM FOR INSTALLATION OF SOIL AND EROSION CONTROL SYSTEMS.
- EARTHWORKS SHALL BE CARRIED OUT IN SUCH A MANNER THAT THE SITE IS MAINTAINED IN A WELL DRAINED CONDITION. AREAS OF LOOSE SOIL ARE MINIMISED AND CONCENTRATIONS OF STORM WATER ARE MINIMISED.
- THE BASIC OBJECTIVES OF THE EROSION AND SEDIMENT CONTROL ARE:
 - IDENTIFY CRITICAL AREAS AND PROVIDE SPECIAL ATTENTION TO THOSE AREAS;
 - PLAN SITE LAYOUT SO THAT ACCESS TO ALL REQUIRED DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES IS MAINTAINED;
 - LIMIT EXPOSURE TIME BY PROGRAMMING TO MINIMISE THE AREA OF LAND EXPOSED TO POTENTIALLY ADVERSE WEATHER CONDITIONS AT ANY ONE TIME;
 - PROVIDE CONTROL MEASURES INCLUDING TEMPORARY AND PERMANENT DRAINAGE, EROSION AND SEDIMENT CONTROL.
- THE EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH LOCAL AUTHORITY EROSION AND SEDIMENT CONTROL STANDARDS, THE SOIL EROSION AND SEDIMENT CONTROL - ENGINEERING GUIDELINES FOR QUEENSLAND (CURRENT EDITIONS), AND ALL OTHER LOCAL AUTHORITY EROSION AND SEDIMENT CONTROL GUIDELINES.
- ALL ESC MEASURES SHALL BE INSPECTED:
 - AT LEAST DAILY (WHEN WORK IS OCCURRING ON SITE);
 - WITHIN 24 HOURS OF EXPECTED RAIN; AND
 - WITHIN 18 HOURS OF RAINFALL EVENT (IN AN EVENT OF SUFFICIENT INTENSITY AND DURATION TO MOBILISE SEDIMENT ON SITE). MAINTENANCE OF ESC MEASURES SHALL OCCUR IN ACCORDANCE WITH THE FOLLOWING TABLE:

ESC MEASURES	MAINTENANCE TRIGGER	TIME FRAME FOR COMPLETION OF MAINTENANCE
SEDIMENT BASINS	WHEN SETTLED SEDIMENT EXCEEDS THE VOLUME OF THE SEDIMENT STORAGE ZONE (SEE COUNCIL'S SEDIMENT BASIN DESIGN GUIDELINES)	WITHIN 48 HOURS OF THE INSPECTION
OTHER ESC MEASURES	THE CAPACITY OF ESC MEASURES FALLS BELOW 75%	BY THE END OF THE DAY

- WATER QUALITY SAMPLES MUST BE TAKEN AND ANALYSED PRIOR TO THE RELEASE OF ANY WATER FROM THE SITE. WATER QUALITY MUST SATISFY THE FOLLOWING CRITERIA: TSS<50 mg/L @ BETWEEN 4.5 AND 8.5. IF WATER QUALITY FAILS THE CRITERIA THEN USE OF A GYPSSUM FLOCCULANT IS TO BE APPLIED AS DIRECTED BY THE SUPERINTENDENT.
- ALL WATER QUALITY DATA INCLUDING DATES OF RAINFALL, TESTING AND WATER RELEASE MUST BE MAINTAINED IN AN ONSITE REGISTER. THIS REGISTER IS TO BE MAINTAINED FOR THE DURATION OF THE APPROVED WORKS AND BE AVAILABLE ON SITE FOR INSPECTIONS BY COUNCIL OFFICERS ON REQUEST.
- CONSTRUCTION ACCESS SHALL BE AT ONLY ONE DESIGNATED POINT AS DETAILED ON THE PLANS. A TRUCK WASH HARD STAND AS DETAILED ON THE PLAN COMPRISING FREE DRAINING GRAVEL SHALL BE LOCATED ADJACENT TO THE POINT OF ACCESS WHERE VEHICLES CAN BE WASHED DOWN PRIOR TO EXIT TO THE STREET SYSTEM IF REQUIRED. THE WASH DOWN AREA SHALL BE KEPT FREE OF MUD.
- FOR DETAILS OF SHAKE DOWN AREA REFER TO IPWEAD STANDARD DRAWING D-0642.
- SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE SUPERINTENDENT AND/OR COUNCIL.
- SEDIMENT CONTROL DEVICES SHALL BE PROVIDED WHERE SHOWN ON THE DRAWINGS. SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL AT LEAST 70% SOIL COVERAGE UPSTREAM AND DOWNSTREAM OF THE DEVICE IS ACHIEVED AND/OR AS DIRECTED BY COUNCIL.
- EXCAVATED MATERIAL WILL BE PLACED DIRECTLY INTO HILL AREAS IN ACCORDANCE WITH THE APPROVED SPECIFICATION.
- ANY IMPORTED FILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL (ESC) MEASURES TO BE MAINTAINED AND FULLY OPERATIONAL DURING THE MAINTENANCE PERIOD AND ARE TO BE REMOVED AFTER THE SATISFACTORY COMPLETION OF AN OFF-MAINTENANCE INSPECTION BY COUNCIL AND PRIOR TO FORMAL ACCEPTANCE "OFF-MAINTENANCE" BY COUNCIL.

EROSION AND SEDIMENT CONTROL NOTES

- TOPSOIL:**
- SEDIMENT FENCES TO BE PLACED AS SHOWN. FOR DETAILS OF SEDIMENT FENCE REFER IPWEAD STANDARD DRAWING D-0848.
 - STRIP AND STOCKPILE AVAILABLE TOPSOIL (ASSUMED AVERAGE DEPTH 100mm) FROM ALL DISTURBED AREAS PRIOR TO BULK EARTHWORKS.
 - GRADE EVENLY BETWEEN ALLOTMENT FINISHED SURFACE LEVELS AND ENSURE LOTS ARE FREE DRAINING.
 - MINIMUM SLOPE ACROSS ALLOTMENTS TO BE 1%.
 - ALL FOOTPATHS, BATTERS AND EARTHWORKS AFFECTED AREAS ARE TO BE TOPSOILED TO A MINIMUM DEPTH OF 100mm (LIGHTLY COMPACTED) AND TURFED WHERE SPECIFIED.

SEDIMENT FENCES:

- SEDIMENT FENCES TO BE REPAIRED AS REQUIRED AND EXCESSIVE SEDIMENT DEPOSITS SHOULD BE REMOVED.
- IN THE EVENT OF WET WEATHER, INSTALL KERB INLET FILTERS WITH GRAVEL RANGING FROM 50mm TO 75mm IN SIZE. REFER IPWEAD STANDARD DRAWING D-0844. WHEREVER PRACTICABLE SEDIMENT RUNOFF SHOULD BE COLLECTED AND RETAINED WHOLLY WITHIN THE WORKSITE OR PRIOR TO ENTRY ON A ROAD SURFACE (WHETHER INSIDE OR OUTSIDE THE SITE). IF THE GRAVEL FILTER BECOMES CLOGGED WITH SEDIMENT DURING ITS USE, THE GRAVEL MUST BE PULLED AWAY FROM THE MESH AND CLEANED OR REPLACED.
- DAILY CHECKS OF SILT FENCES IS TO BE MADE ALONG WITH A CHECK AFTER ANY SIGNIFICANT STORM EVENT TO ENSURE INTEGRITY AND PERFORMANCE.

TURFING:

- PROVIDE TURFING TO ENTIRE WIDTH OF ALL SWALES, FOOTPATHS AND 1 IN 4 CUT AND FILL BATTERS.
- FOOTPATH BATTERS ARE TO BE STABILISED WITH TOPSOIL (AND TURFED) AS SOON AS PRACTICAL AFTER BATTERS HAVE BEEN COMPLETED. REMAINING EXPOSED AREAS ON LOTS ARE TO BE SEEDED AND MULCHED (eg. HYDROMULCHED).

'A' DURING CONSTRUCTION:

- TOPSOIL STOCKPILE TO HAVE A SEDIMENT FENCE DOWN SLOPE AND A DIVERSION DRAIN UP SLOPE.
- SEDIMENT FENCES TO BE PLACED AS SHOWN.
- INSPECT BANKS DAILY AND REPAIR ANY SLUMPS, WHEEL TRACK DAMAGE OR LOSS OF FREEBOARD.
- REMOVE SEDIMENT TO AVOID PONDING FROM CATCH DRAINS.
- REMOVE EXCESSIVE SEDIMENT FROM UPSTREAM OF CHECK DAM.
- ROAD RESERVE TO BE USED AS HAUL ROAD.
- A CATCH DRAIN/CATCH BANK IS TO BE PROVIDED ON THE TOP SIDE OF ALL CUTS AND DISCHARGE EITHER TO UNDISTURBED GRASS LANDS OR TO THE CROSS ROAD DRAINAGE.
- SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER.
- GRASS SEEDING IS TO ACHIEVE 70% COVER WITHIN 30 DAYS OF COMPLETION OF EARTHWORKS.

'B' FOLLOWING CONSTRUCTION:

- SEDIMENTATION AND EROSION CONTROLS TO BE MAINTAINED UNTIL SITE IS 60% STABILISED WITH ESTABLISHED GRASS/TURF THEN CONTROLS CAN BE REMOVED.

HOLD POINT

- WORK TO ROADS, DRAINAGE, SEWER, WATER OR EARTHWORKS MUST NOT PROCEED UNTIL ADEQUATE SEDIMENT CONTROL IS IN PLACE TO THE SATISFACTION OF THE SUPERINTENDENT.

DISCHARGE QUALITY NOTES

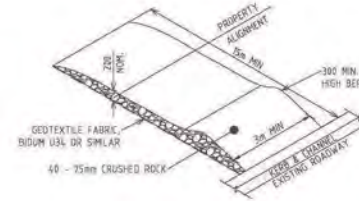
- CONTRACTOR TO MEET THE FOLLOWING WATER QUALITY CRITERIA PRIOR TO PUMP PUMP DISCHARGE FROM SITE:
 - SUSPENDED SOLIDS 50mg/L (75 NTU TURBIDITY)
 - TOTAL IRON 8.3mg/L
 - TOTAL ALUMINIUM 0.2mg/L
 - pH 8.5-8.8 GENERALLY (MATCH pH OF INSTN GROUNDWATER)
 - VISUAL AMENITY NO VISIBLE PLUME
- FLOCCULATION AND EMPLOYING OF SEDIMENT BASKIN TO OCCUR WITHIN 48 HOURS AFTER RAINFALL EVENT.
- FLOCCULATION DOSAGE AS SPECIFIED BY INDEPENDENT GEO/ENVIRONMENTAL ENGINEER'S SPECIFICATION. ALLOW DOSAGE RATE OF 4-8L "TURBICLEAR" PER 100m³ DIRTY WATER.
- CONTRACTOR MAY OPT TO DISCHARGE TO CERTIFIED TANKER TRUCK DISPOSAL CONTRACTORS IN LIEU OF THE ABOVE TREATMENT REQUIREMENTS.

ORDER OF CONSTRUCTION

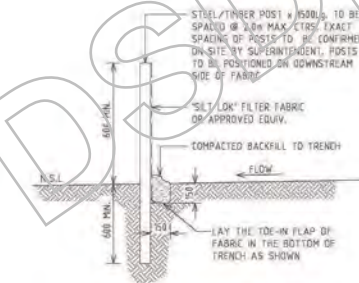
- ESTABLISH STABILISED SITE ACCESS/SHAKER GRID
- ERECT SITE BARRIERS/NO-GO FENCING
- CLEAN WATER DIVERSION DRAINS
- ERECT SEDIMENT FENCES
- PROTECTION OF INSTALLED STORMWATER SYSTEM

WARNING

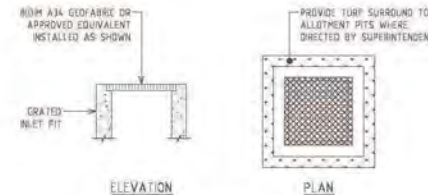
THE LOCATION OF EXISTING/RECENT ELECTRICITY, SEWERAGE & WATER ARE NOT SHOWN ON THE DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN THE EXACT LOCATION OF ALL SERVICES UNDERGROUND & OVERHEAD FROM THE RELEVANT AUTHORITY RESPONSIBLE FOR EACH SERVICE.



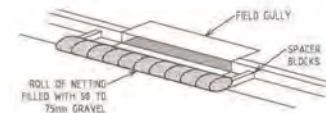
TEMPORARY CONSTRUCTION ENTRY/EXIT SEDIMENT TRAP
NTS



TYPICAL SILT FENCE DETAIL
NTS



FIELD INLET PROTECTION
NTS



GULLY INLET PROTECTION
NTS

ENDORSED
Date: 19 SEP 2018
MEDQ
Queensland Government

NO.	DATE	BY	DESCRIPTION
1	19 SEP 2018	ME	ISSUED FOR APPROVAL
2			
3			

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EMPIRE ENGINEERING
SUNSHINE COAST
BUNDABERG
GLADSTONE
SUNSHINE COAST

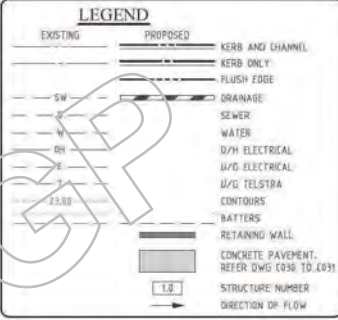
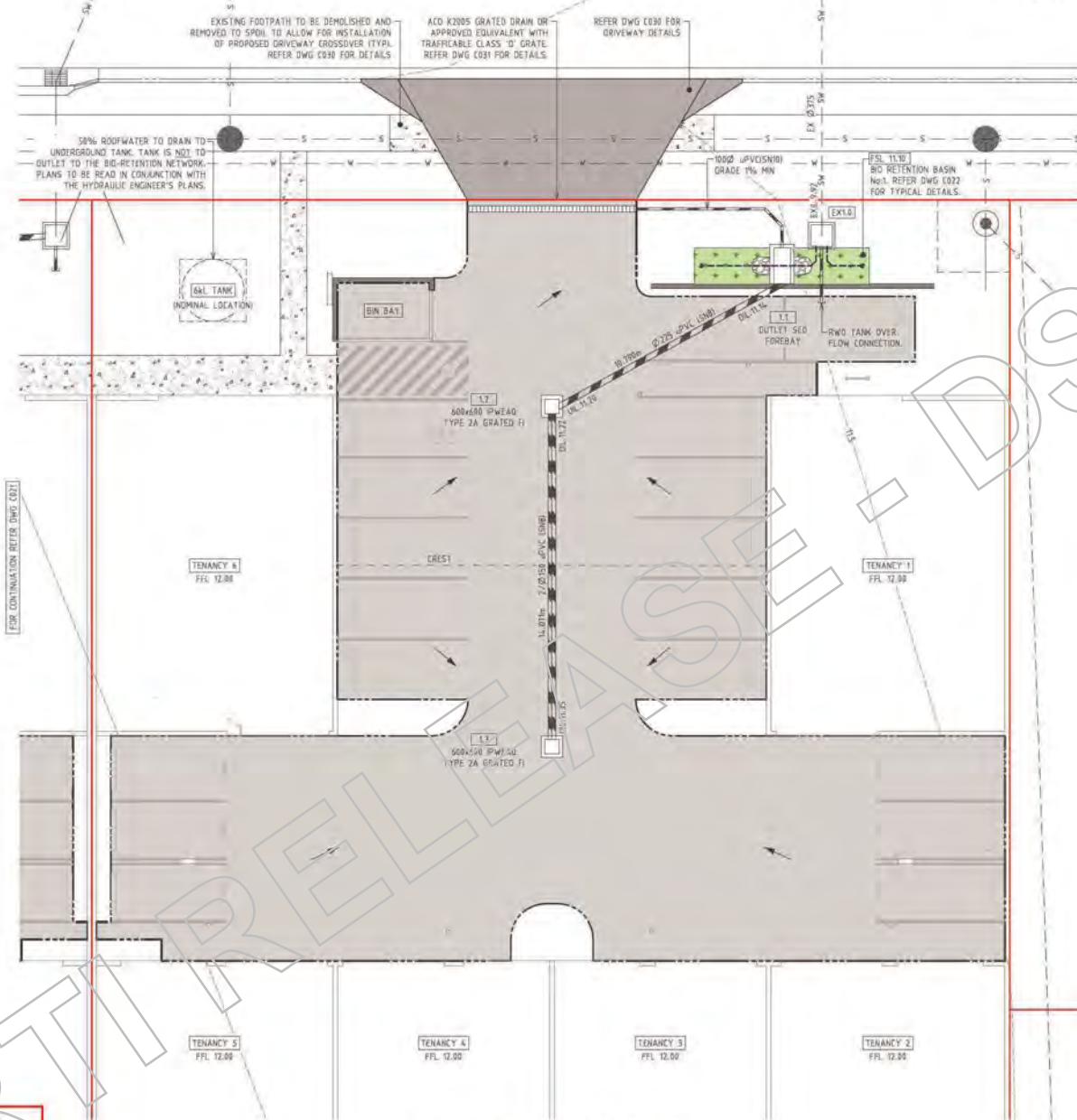
Client: DEVCN BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 116-1147 HANCOCK WAY,
AURA PRECINCT 3 - STAGE 1

Drawn: MWJ
Checked: perth@ulsen.com.au
Approved: [Signature]
Information

File: EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

STATUS: FOR APPROVAL NOT FOR CONSTRUCTION
Date: AUGUST 2018 Scale: AS NOTED
Job Ref No: SC-7686 Drawing No: C011 Issue: A

HANCOCK WAY



NOTE: CORE AND GROUT NEARLY ALL CONNECTIONS TO EXISTING PITS. ANY REDUNDANT CONNECTIONS AND OR DAMAGE TO PIT WALLS TO BE REPAIRED TO A STANDARD ACCEPTABLE TO COUNCIL.

IMPORTANT: EXISTING STORMWATER INVERT LEVELS NOTED ON THE PLAN ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR APPROVAL.

IMPORTANT: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SERVICES WITHIN THE VICINITY OF THE PROPOSED EXTENTS OF WORKS, BOTH WITHIN THE SITE AND ROAD RESERVE, PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING SERVICES WHETHER SHOWN ON THE ENGINEERING PLANS OR NOT.

IMPORTANT: SEWER AND WATER SERVICE CONNECTIONS FOR THE DEVELOPMENT TO BE DESIGNED BY SUITABLY QUALIFIED HYDRAULIC CONSULTANT AND APPROVED BY THE APPROPRIATE SERVICES AUTHORITIES PRIOR TO CONSTRUCTION.

NOTE: REFER DWG C001 FOR THE GENERAL & DRAINAGE NOTES



STAGE FOR APPROVAL NOT FOR CONSTRUCTION

Date: AUGUST 2018	Scale: A5 NOTED
Job Ref No: SC-7686	Drawing No: C020
Issue: A	

ENDORSED
Date: 19 SEP 2018
MEDQ

SITWORKS AND DRAINAGE PLAN
SCALE: A

NO.	DESCRIPTION	DATE	BY	CHKD

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EMPIRE ENGINEERING
SUNSHINE COAST
11/11/18

BUNDABERG
11/11/18

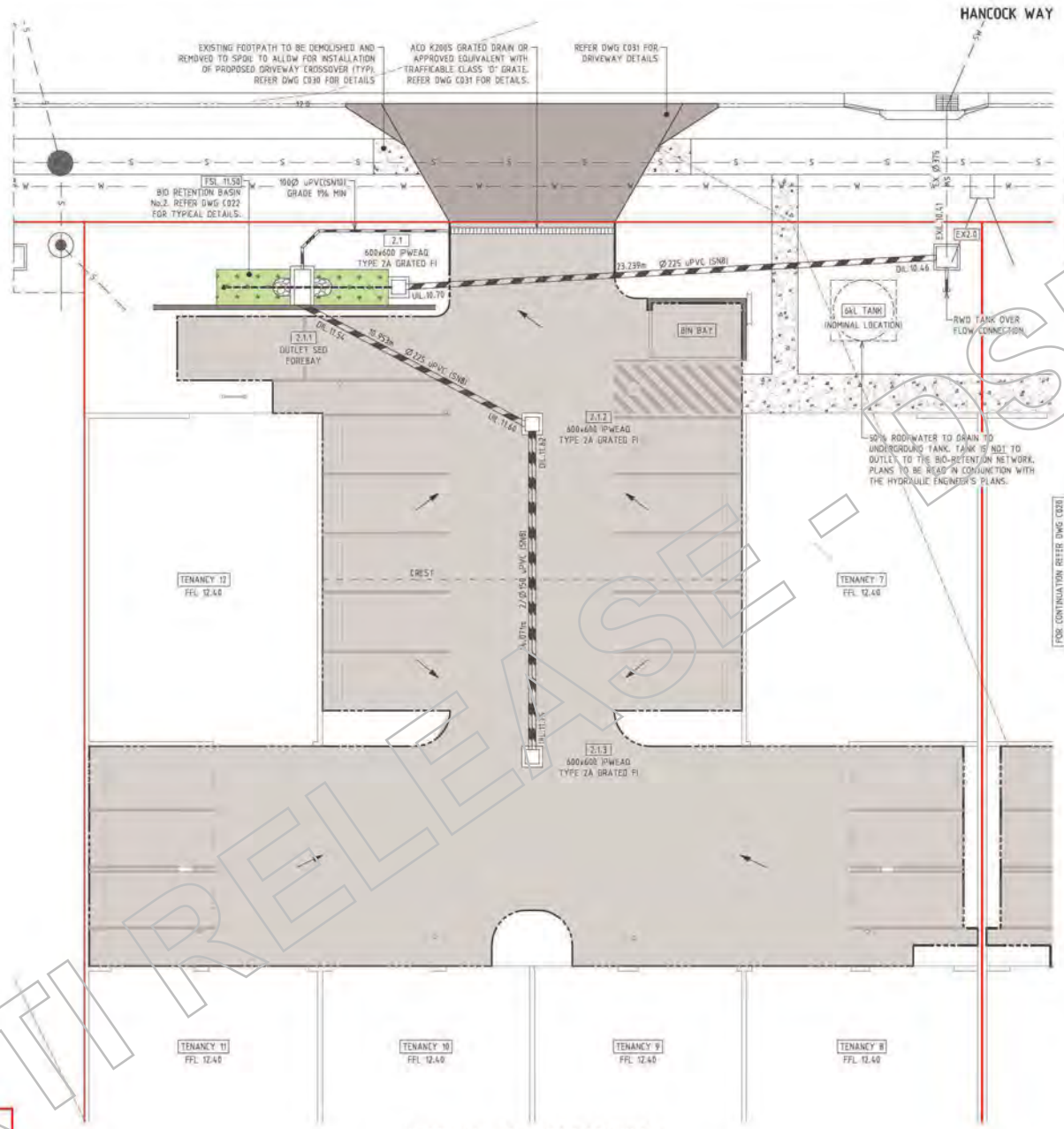
GLADSTONE
11/11/18

SUNSHINE COAST
11/11/18

Client: DEVCON BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT, LOTS 1165-1167 HANCOCK WAY, AURA PRECINCT 3 - STAGE 1

Design: MWJ / Drawn: KGT
Approved: [Signature]

Title: **SITWORKS AND DRAINAGE PLAN - SHEET 1 OF 2**



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	KERB AND CHANNEL
---	---	KERB ONLY
---	---	FLUSH EDGE
---	---	DRAINAGE
---	---	SEWER
---	---	WATER
---	---	D/H ELECTRICAL
---	---	U/G ELECTRICAL
---	---	U/G TELSTRA
---	---	CONTOURS
---	---	BATTERS
---	---	RETAINING WALL
---	---	CONCRETE PAVEMENT. REFER DWG E030 TO E031
---	---	STRUCTURE NUMBER
---	---	DIRECTION OF FLOW

IMPORTANT:
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SERVICES WITHIN THE VICINITY OF THE PROPOSED EXTENTS OF WORKS, BOTH WITHIN THE SITE AND ROAD RESERVE, PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING SERVICES WHETHER SHOWN ON THE ENGINEERING PLANS OR NOT.

IMPORTANT:
SEWER AND WATER SERVICE CONNECTIONS FOR THE DEVELOPMENT TO BE DESIGNED BY SUITABLY QUALIFIED HYDRAULIC CONSULTANT AND APPROVED BY THE APPROPRIATE SERVICES AUTHORITIES PRIOR TO CONSTRUCTION.

NOTE: CORE AND GROUT NEARLY ALL CONNECTIONS TO EXISTING PITS. ANY REDUNDANT CONNECTIONS AND OR DAMAGE TO PIT WALLS TO BE REPAIRED TO A STANDARD ACCEPTABLE TO COUNCIL.

IMPORTANT: EXISTING STORMWATER INVERT LEVELS NOTED ON THE PLAN ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR APPROVAL.

30% ROOFWATER TO DRAIN TO UNDERGROUND TANK. TANK IS NOT TO OUTLET TO THE BIO-RETENTION NETWORK. PLANS TO BE READ IN CONJUNCTION WITH THE HYDRAULIC ENGINEER'S PLANS.

FOR CONTINUATION REFER DWG C001

SITEWORKS AND DRAINAGE PLAN
SCALE: A

NOTE: REFER DWG C001 FOR THE GENERAL & DRAINAGE NOTES

PROJECT NORTH

SCALE: 1:100 at A1, 1:200 at A3

FOR APPROVAL
NOT FOR CONSTRUCTION

Date: AUGUST 2018	Scale: A5 NOTED
Job Ref No: SC-7686	Drawing No: C021
Issue: A	

ENDORSED
Date: 19 SEP 2018
MEDQ

NO.	DATE	BY	CHKD BY	DESCRIPTION

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NEW BRISBANE AND SYDNEY OFFICES

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Tel: 07 4652 2222

GLADSTONE
150-152 Stirling St, Gladstone QLD 4750
Tel: 07 4652 2222

SUNSHINE COAST
150-152 Stirling St, Sunshine Coast QLD 4550
Tel: 07 4652 2222

Client: DEVCON BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 1165-1167 HANCOCK WAY,
AURA PRECINCT 3 - STAGE 1

Designed: MWJ / J. Brown / KGT
Approved: [Signature]

Title: **SITEWORKS AND DRAINAGE PLAN - SHEET 2 OF 2**

BIORETENTION NOTES

1. BIORETENTION MEDIA SPECIFICATION SHALL BE IN ACCORDANCE WITH THE FACILITY FOR ADVANCING BIOFILTRATION "GUIDELINES FOR SOIL FILTER MEDIA IN BIORETENTION SYSTEMS". BIORETENTION HYDRAULIC CONDUCTIVITY SHALL BE IN ACCORDANCE WITH THE FACILITY FOR ADVANCING BIOFILTRATION "PRACTICE NOTE 1: IN SITU MEASUREMENT OF HYDRAULIC CONDUCTIVITY". THE NUMBER OF SAMPLES TO BE TESTED SHALL BE IN ACCORDANCE WITH THE "WATER SENSITIVE URBAN DESIGN CONSTRUCTION AND ESTABLISHMENT GUIDELINES - SWALES, BIORETENTION SYSTEMS AND WETLANDS (WATER BY DESIGN). THE APPROVED ENGINEERING PLANS WILL BE ACHIEVED. FILTER MEDIA MUST BE TESTED FOR THE FOLLOWING; MEDIA THAT DO NOT MEET THESE SPECIFICATIONS WILL BE REJECTED.

- (A) TOTAL NITROGEN (TN) CONTENT - $+160\text{mg/kg}$
- (B) ORTHOPHOSPHATE (PO₄)³⁻ CONTENT - $+60\text{mg/kg}$
- (C) ORGANIC MATTER CONTENT - AT LEAST 3% (w/w)
- (D) pH - AS SPECIFIED FOR NATURAL SOILS AND SOIL BLENDS 5.5-7.5 (pH 15 IN WATER)
- (E) ELECTRICAL CONDUCTIVITY (EC) - AS SPECIFIED FOR NATURAL SOILS AND SOIL BLENDS $+1.25\text{mS/m}$
- (F) MINIMUM HYDRAULIC CONDUCTIVITY OF 180mm/hr

2. IN ADDITION LABORATORY RESULTS MUST BE PROVIDED DEMONSTRATING THAT THE TRANSITION LAYER AND DRAINAGE LAYER MEET THE FOLLOWING BRIGGIDG CRITERIA:

- (A) D₁₀ (DRAINAGE LAYER) $\leq 4\phi$ (TRANSITION LAYER)
- (B) D₁₀ (TRANSITION LAYER) $\leq 4\phi$ (FILTER LAYER)

3. UNDER-DRAIN SLOTTED RIGID PIPE (TYPE 2 UPVC TO AS 2439.1) OR APPROVED EQUIVALENT, 0.5% MIN. GRADE. REFER PROJECT DRAWINGS FOR DIAMETER AND INVERT LEVEL (TYPICALLY 200-250). PIPE SHOULD NOT BE INSTALLED WITH A FILTER SOCK SURROUNDING PIPE. UNDER-DRAINAGE PIPES SHALL BE SEALED INTO PITS USING CRUOT OR OTHER APPROVED WATER TIGHT SEAL.

4. REFER TO PROJECT DRAWINGS FOR VEGETATED BATTER SLOPES (1 IN 3 MAX, 1 IN 4 TYPICAL) AND BATTER TOPSOIL REQUIREMENTS.

5. HDPE IMPERMEABLE LINER ONLY, TO BE USED WITHIN THE BIO RETENTION BASIN.

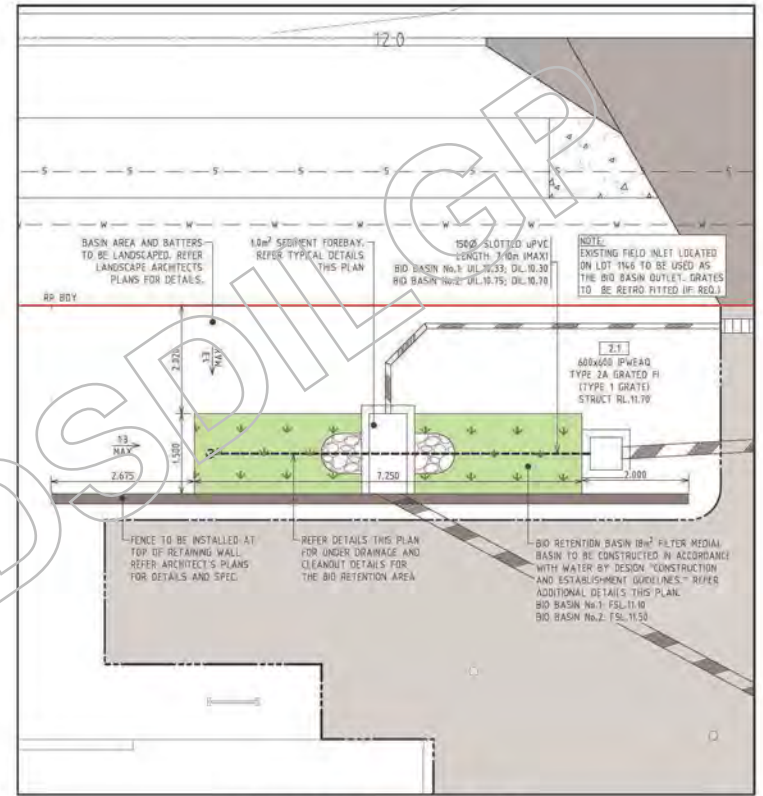
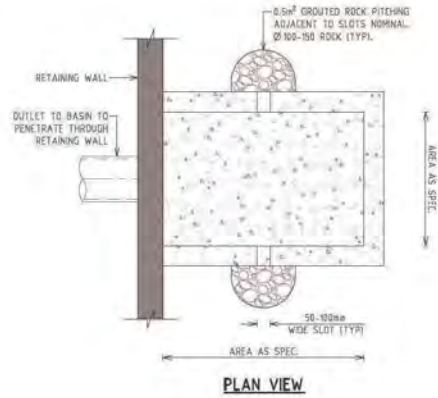
6. BASIN FINISHED SURFACE LEVEL IS TOP OF FILTER MEDIA. SURFACE TO BE MULCHED AND PLANTED AS PER LANDSCAPE DRAWINGS.

7. CONSTRUCTION TOLERANCES AS DOCUMENTED IN THE "WATER SENSITIVE URBAN DESIGN CONSTRUCTION AND ESTABLISHMENT GUIDELINES - SWALES, BIORETENTION SYSTEMS AND WETLANDS" (WATER BY DESIGN) MUST BE ACHIEVED. CONSTRUCTION TOLERANCES MUST BE NOTED ON PROJECT PLANS. INVERT LEVELS OF PITS, PIPES AND BASE LEVELS MUST BE NOTED ON PROJECT DRAWINGS.

8. REFER LANDSCAPE DRAWINGS FOR PLANT SPECIFICATION, PLANT SPECIFICATION AND DENSITIES SHALL BE IN ACCORDANCE WITH THE "WATER SENSITIVE URBAN DESIGN TECHNICAL DESIGN GUIDELINES" (WATER BY DESIGN). TYPICALLY 8 PLANTS/m² ACHIEVING 90% GROUND COVERAGE.

9. THE DRAINAGE LAYER, TRANSITION LAYER, AND FILTRATION MEDIA MATERIALS SHALL NOT BE INSTALLED UNTIL THE CATCHMENT DRAINING TO THE BIORETENTION DEVICE HAS 70% GROUND COVER AS DETERMINED BY COUNCIL'S DELEGATE.

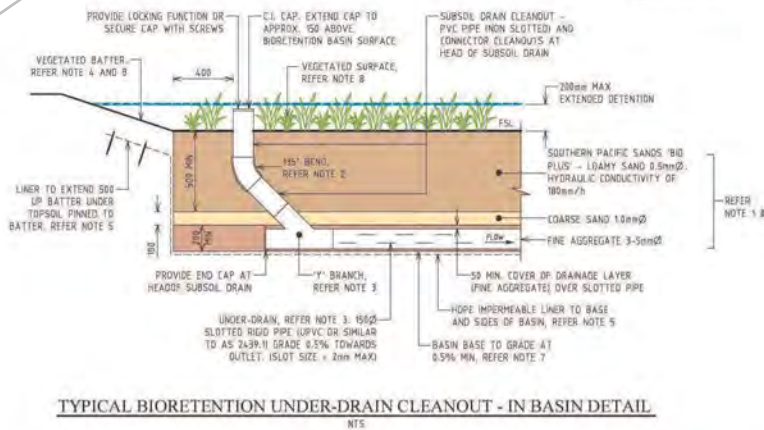
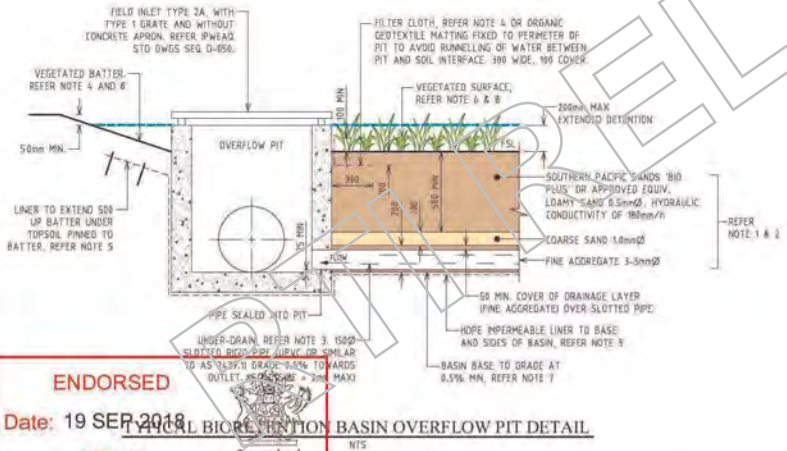
10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.



TYPICAL BIO RETENTION BASIN
SCALE A

BIO BASIN FILTER REQUIREMENTS

	LOT AREA (m ²)	ROOF AREA (m ²)	GROUND AREA (m ²)	FILTER AREA (% OF GROUND AREA) (m ²)
LOT 1166	1998	1173	735	7.35
LOT 1167	1968	1173	735	7.35



NOTE: REFER DWG C001 FOR THE GENERAL & DRAINAGE NOTES



ENDORSED
Date: 19 SEP 2018
MEDQ
Queensland Government

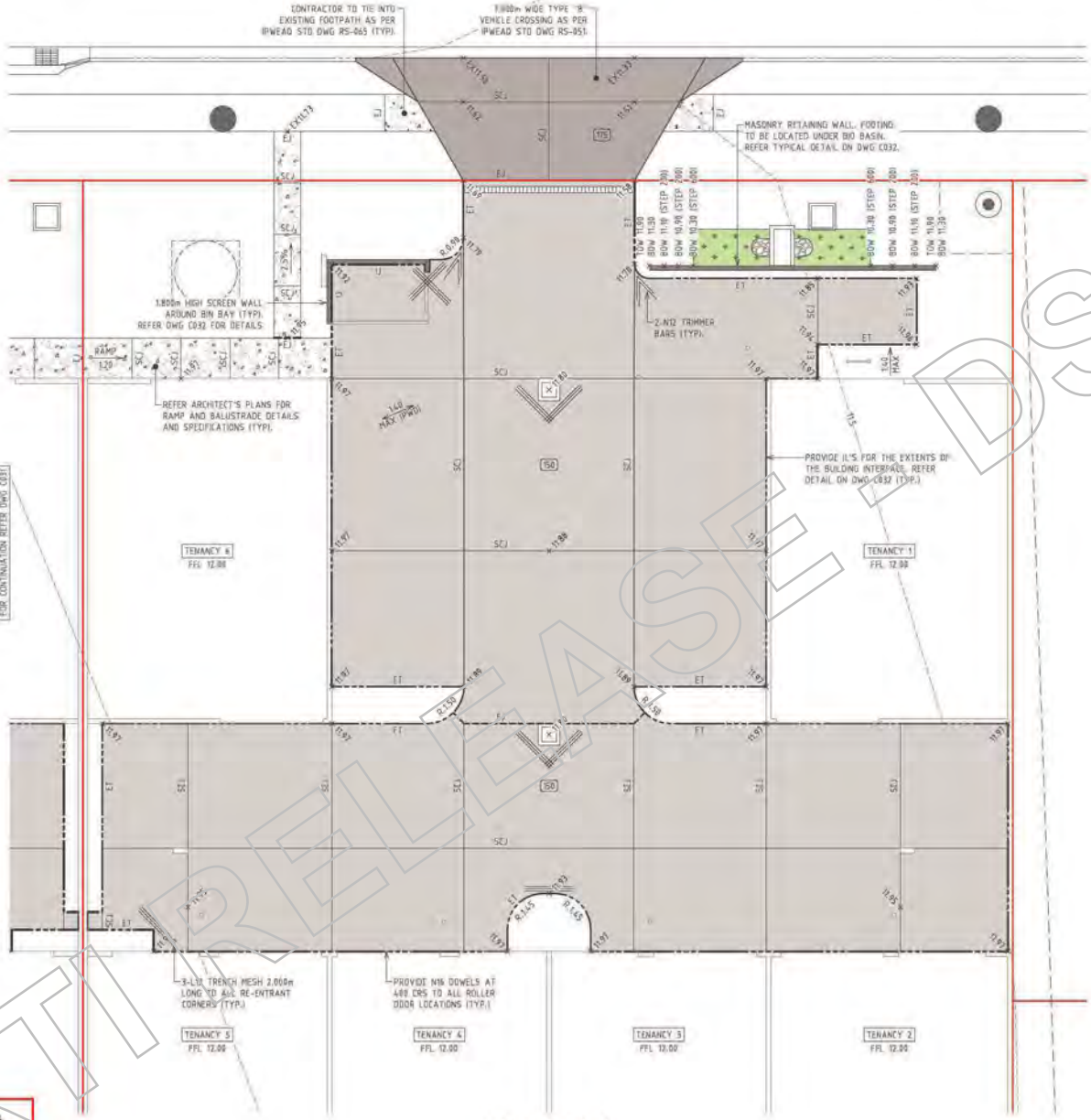
NO.	DATE	BY	CHKD	APP'D
1				
2				
3				

EMPIRE ENGINEERING
BUNDABERG
GLADSTONE
SUNSHINE COAST

Client: DEVCON BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 116-1167 HANCOCK WAY,
AURA PRECINCT 3 - STAGE 1

Designed: MWJ / Drawn: KST
Approved: [Signature]
Title: **BIO RETENTION BASIN NOTES AND DETAILS**
Date: AUGUST 2018
Job Ref No: SC-7686
Drawing No: C022
Issue: A

HANCOCK WAY



LEGEND

EXISTING	PROPOSED	
---	---	KERB AND CHANNEL
---	---	KERB ONLY
---	---	FLUSH EDGE
(50)	(50)	CONCRETE PAVEMENT, 150mm THICK, N12 CONC. SL82 MESH
(150)	(150)	CONCRETE DRIVEWAY, 175mm THICK, N12 CONC. SL92 MESH
(100)	(100)	CONCRETE FOOTPATH, 100mm THICK, N25 CONC. SL72 MESH
---	---	SAW CUT JOINT
---	---	EXPANSION JOINT

- DRIVEWAY NOTES**
- PERMITS RELATING TO ROAD AND FOOTPATH CLOSURES MUST BE OBTAINED FROM COUNCIL. CONTRACTOR IS TO ALLOW FOR TRAFFIC CONTROL AND PRODUCE AN ENDORSED TRAFFIC MANAGEMENT PLAN PRIOR TO COUNCIL PRE-START MEETING.
 - CONCRETE TO BE 32MPa IN ACCORDANCE WITH AS-1979 & AS-3600 UNO.
 - CONCRETE SURFACE TOLERANCE TO BE:
 - 5mm OVER 3 METRE SECTIONS.
 - COMPACTION OF SUBGRADE TO 98% STANDARD TO AS1289.3.1.1. WHERE SUBGRADE IS LESS THAN CR 3 EXCAVATE UNSUITABLE AND PROVIDE IMPORTED MATERIAL TO SATISFACTION OF THE SUPERINTENDENT.
 - ALL CONCRETE TO BE BROOM FINISHED. FINISHES OTHER THAN BROOM FINISHED ARE TO BE SPECIFICALLY APPROVED BY ENGINEER, WITH REGARDS TO LONG TERM SKID RESISTANCE AND DURABILITY.
 - PATTERN LINES TO BE SQUARE TO SIDES AND FINISHED WITH AN APPROVED GROOVING TOOL.
 - EXPANSION JOINTS TO BE 10 THICK, FULL DEPTH CLOSED CELL CROSS LINKED POLYETHYLENE FOAM (85-150 KG/M³) OR 10mm THICK COMPRESSED GRANULATED CORKBOARD. INSTALLATION TO MANUFACTURERS INSTRUCTIONS.
 - 3-112 FRENCH MESH x 2000 LONG TO BE PLACED AT ALL RE-ENTRANT CORNERS.
 - REINFORCEMENT FABRIC TO AS-5004, 40 TOP AND EDGE COVER, LAP FABRIC 250.
 - GRADE NOT TO EXCEED 1 IN 40 WHERE DISABILITY ACCESS IS REQUIRED.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCH & HYDRAULIC CONSULTANTS DWGS FOR ALL LEVELS, FALLS, GRADES, DRAINAGE, ETC.
 - REFER TO COUNCIL'S STANDARD DRAWINGS FOR DRIVEWAY CROSS-OVER TYPES, DIMENSIONS AND PLACES. A COPY OF THESE DRAWINGS CAN BE OBTAINED FROM COUNCIL'S WEBSITE, OR CONTACT EMPIRE ENGINEERING.
 - COMMERCIAL INDUSTRIAL AND MULTI-UNIT DEVELOPMENT DRIVEWAY CROSS-OVERS REQUIRE THE REMOVAL OF THE BACK OF THE EXISTING KERB & CHANNEL FOR THE EXTENTS OF THE PROPOSED CROSS-OVER AND THE INSTALLATION OF GALVANISED DOWELS. REFER COUNCIL'S STANDARD DETAILS.

NOTE: REFER DWG C001 FOR THE GENERAL NOTES AND DWG C032 FOR THE PAVEMENT DETAILS



STAGE FOR APPROVAL NOT FOR CONSTRUCTION

Date: AUGUST 2018	Scale: AS NOTED
Job Ref No: SC-7686	Drawing No: C030
Issue: A	

ENDORSED
Date: 19 SEP 2018
MEDQ

PAVEMENT PLAN
SCALE A

NO.	DATE	BY	CHKD	APP'D

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SUNSHINE COAST
1500 Highway 1
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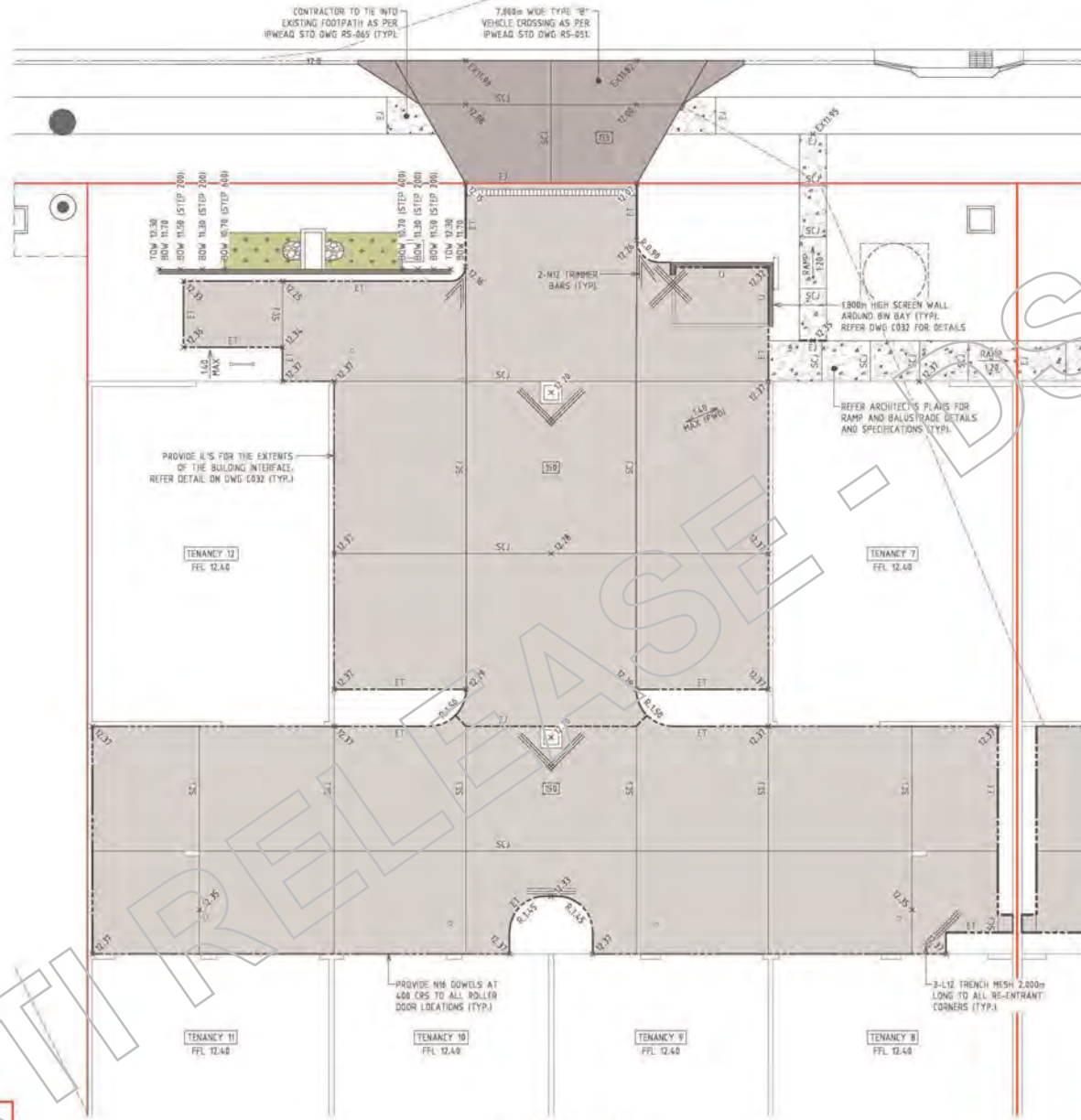
Client: DEVCON BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT, LOTS 116-1147 HANCOCK WAY, AURA PRECINCT 3 - STAGE 1

Designed: MWJ / Drawn: KST
Approved: [Signature]

IRISYS/AM/ENR 7 RPEC: 5990

File: PAVEMENT PLAN - SHEET 1 OF 2

HANCOCK WAY



LEGEND

EXISTING	PROPOSED	KERB AND CHANNEL
		KERB ONLY
		FLUSH EDGE
(50)		CONCRETE PAVEMENT: 150mm THICK, N12 CONC. SL82 MESH
(10)		CONCRETE DRIVEWAY: 175mm THICK, N12 CONC. SL92 MESH
(100)		CONCRETE FOOTPATH: 100mm THICK, N15 CONC. SL72 MESH
SCJ		SAW CUT JOINT
EJ		EXPANSION JOINT

- DRIVEWAY NOTES**
- PERMITS RELATING TO ROAD AND FOOTPATH CLOSURES MUST BE OBTAINED FROM COUNCIL. CONTRACTOR IS TO ALLOW FOR TRAFFIC CONTROL AND PRODUCE AN ENDORSED TRAFFIC MANAGEMENT PLAN PRIOR TO COUNCIL PRE-START MEETING
 - CONCRETE TO BE 32MPa IN ACCORDANCE WITH AS-1379 & AS-3600 UND.
 - CONCRETE SURFACE TOLERANCE TO BE:
 - 5mm OVER 3 METRE SECTIONS.
 - COMPACTION OF SUBGRADE TO 98% STANDARD TO AS1289.3.1.1. WHERE SUBGRADE IS LESS THAN CR 5 EXCAVATE UNSUITABLE AND PROVIDE IMPORTED MATERIAL TO SATISFACTION OF THE SUPERINTENDENT
 - ALL CONCRETE TO BE BROOM FINISHED. FINISHES OTHER THAN BROOM CONCRETE ARE TO BE SPECIFICALLY APPROVED BY ENGINEER, WITH REGARDS TO LONG TERM SKID RESISTANCE AND DURABILITY
 - PATTERN LINES TO BE SQUARE TO SIDES AND FINISHED WITH AN APPROVED GROOVING TOOL
 - EXPANSION JOINTS TO BE 10 THICK, FULL DEPTH CLOSED CELL CROSS LINKED POLYETHYLENE FOAM (85-150 KG/M³) OR 10mm THICK COMPRESSED GRANULATED CORKBORD. INSTALLATION TO MANUFACTURERS INSTRUCTIONS.
 - 3-1.12 TRENCH MESH x 2000 LONG TO BE PLACED AT ALL RE-ENTRANT CORNERS
 - REINFORCEMENT FABRIC TO AS-1394, 40 TDP AND EDGE COVER, LAP FABRIC 250.
 - GRADE NOT TO EXCEED 1 IN 40 WHERE DISABILITY ACCESS IS REQUIRED.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCH. & HYDRAULIC CONSULTANTS DWGS FOR ALL LEVELS, FALLS, GRADES, DRAINAGE, ETC.
 - REFER TO COUNCIL'S STANDARD DRAWINGS FOR DRIVEWAY CROSS-OVER TYPES, DIMENSIONS AND PLANS. A COPY OF THESE DRAWINGS CAN BE OBTAINED FROM COUNCIL'S WEBSITE, OR CONTACT EMPIRE ENGINEERING.
 - COMMERCIAL, INDUSTRIAL AND MULTI-UNIT DEVELOPMENT DRIVEWAY CROSS-OVERS REQUIRE THE REMOVAL OF THE BACK OF THE EXISTING KERB & CHANNEL FOR THE EXTENTS OF THE PROPOSED CROSS-OVER AND THE INSTALLATION OF GALVANISED DOWELS. REFER COUNCIL'S STANDARD DETAILS.

NOTE:
REFER DWG C001 FOR THE GENERAL NOTES AND DWG C032 FOR THE PAVEMENT DETAILS



STATUS **FOR APPROVAL**
NOT FOR CONSTRUCTION

ENDORSED
Date: 19 SEP 2018
MEDQ

DATE	DESCRIPTION	BY	CHKD

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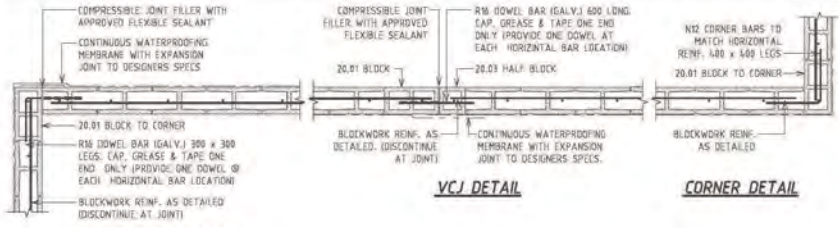
Client: DEVCOD BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 116-1147 HANCOCK WAY,
AURA PRECINCT 3 - STAGE 1

Designed: MWJ / Crown KST
Approved: [Signature]

17/01/2018/2018 R/PCQ/6990

Title: PAVEMENT PLAN - SHEET 2 OF 2

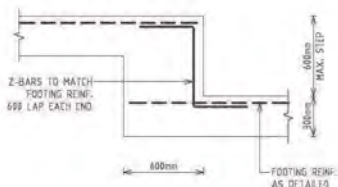
Date: AUGUST 2018	Scale: AS NOTED
Job Ref No: SC-7686	Drawing No: C031
Issue: A	



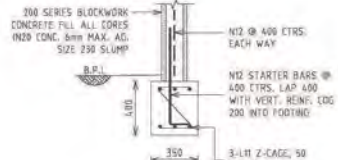
VCJ AT CORNER DETAIL

TYPICAL BLOCKWORK DETAILS

NTS

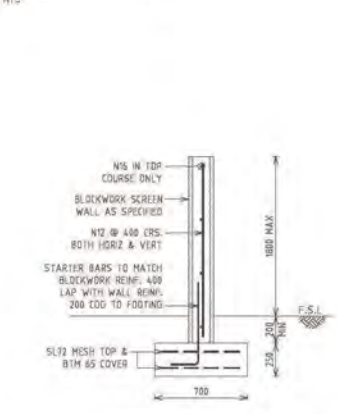


STEP IN FOOTING DETAIL



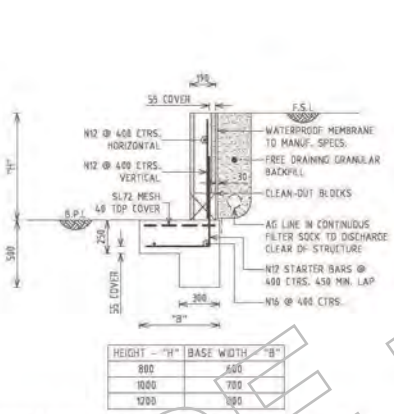
RETAINING WALL DETAIL 600mm HIGH MAX

SCALE 1:20



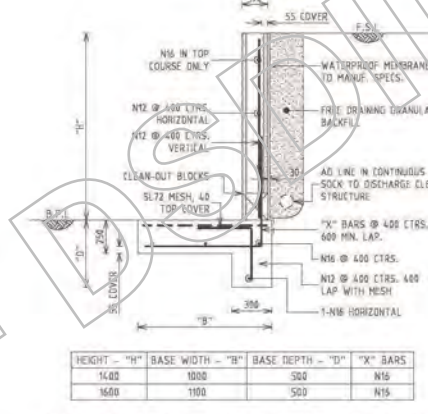
SCREEN WALL DETAIL

SCALE 1:20



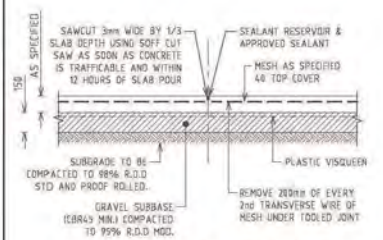
RETAINING WALL (TOE OUT 800-1200mm HIGH)

SCALE 1:20



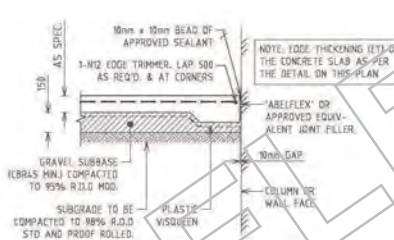
RETAINING WALL (TOE OUT 1400-1600mm HIGH)

SCALE 1:20



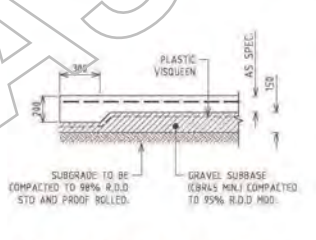
SAW CUT JOINT DETAIL (SCJ)

SCALE 1:20



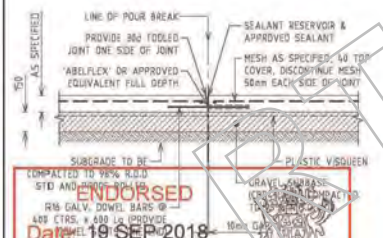
ISOLATION JOINT DETAIL (IJ)

SCALE 1:20



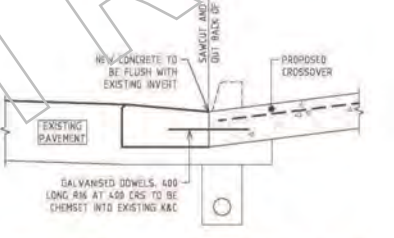
EDGE THICKENING DETAIL (ET)

SCALE 1:20



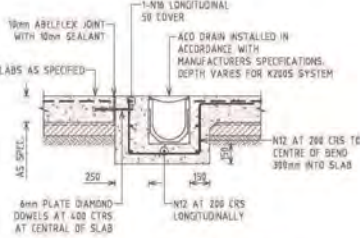
EXPANSION JOINT DETAIL (EJ)

SCALE 1:20



DRIVEWAY CROSS OVER - BREAKOUT TYPE

NTS



ACO TRENCH DRAIN SECTION

NTS

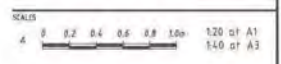
- FOOTING & FOUNDATION PREPARATION**
- PREPARE EXISTING FOUNDATION BELOW THE BUILDING BY REMOVAL OF ANY TOPSOIL CONTAINING ORGANIC AND/OR INORGANIC MATTER WHICH MAY INHIBIT COMPACTION
 - DEEPEN FOOTINGS AND SLAB STIFFENING BEAMS TO BEAR ON FOUNDATION MATERIAL WITH MINIMUM SAFE BEARING PRESSURE AS NOTED IN THE TABLE BELOW
 - COMPACT FOUNDATION BELOW THE CONCRETE SLABS TO THE STANDARD OF COMPACTION FOR ALL UNDER SLABS OR FOOTINGS HEREUNDER UNLESS NOTED OTHERWISE
 - SAND FILLING UNDER SLABS OR FOOTINGS SHALL BE PLACED IN MAX. 200mm LAYERS, MIN. COMPACTED DEPTH COMPACTED IN ACCORDANCE WITH AS-1289 (DENSITY INDEX TO BE GREATER THAN 70% IN ACCORDANCE WITH AS-1289)
 - FILL MATERIAL OTHER THAN SAND (i.e. GRAVEL, DECOMPOSED ROCK OR BROKEN ROCK) FREE FROM ORGANIC MATERIAL AND LUMPS OF CLAY) UNDER SLABS OR FOOTINGS TO BE COMPACTED TO ACHIEVE A DENSITY RATIO CALCULATED BY AS-1289 OF NOT LESS THAN 90% AT MAXIMUM DRY DENSITY AS DETERMINED BY AS-1289
 - PROOF ROLL THE FOUNDATION AND REMOVE AND RECONSTRUCT AREAS THAT BREAK UP OR SHOW EVIDENCE OF MOVEMENT UNDER THE PROOF ROLLING
 - CONSTRUCT FOOTINGS UNDER ALL LOAD BEARING WALLS (TYPICAL)
 - LAP AND CORNER BARS EQUIVALENT TO THE REINFORCEMENT IN THE FOOTING TO BE PROVIDED AT CHANGES IN DIRECTION AND JUNCTION OF FOOTINGS
 - REFER TO THE GEOTECHNICAL REPORT PERTAINING TO THIS SITE

- CONCRETE BLOCK MASONRY**
- ALL CONCRETE BLOCK MASONRY WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE CURRENT EDITION OF:-
- AS-3700 - S.A.A. MASONRY CODE
 - AS-4455 - CONCRETE MASONRY UNITS
 - AS-3600 - S.A.A. CONCRETE STRUCTURES CODE
 - AS-2699 - MASONRY WALL TESTS
 - AS-2699.2 - MASONRY CONSTRUCTION, ACCESSORIES
- CLEAN OUT BLOCKS TO BE USED AT FIRST COURSE ABOVE EACH FLOOR AND ALL MORTAR TO BE REMOVED FROM CORES PRIOR TO CONCRETE FILLING
 - CONCRETE MIX USED TO FILL CAVITY TO HAVE CHARACTERISTIC COMPRESSIVE STRENGTH OF 20MPa (7.25) MAXIMUM SLUMP 200mm, MAXIMUM AGGREGATE SIZE 8mm (MAXIMUM 4 COURSE HEIGHT PLACED AT ONE TIME)
 - BLOCKWORK MUST NOT BE BUILT ON CONCRETE SLABS UNTIL FORMWORK SUPPORTING SAME HAS BEEN REMOVED
 - MORTAR TO BE MIXED IN PROPORTION OF 1:6:10 (CEMENT:HYDRATED LIME SAND OR EQUIVALENT CEMENT - SAND MORTAR WITH PLASTICISER) AND MORTAR COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20MPa MINIMUM
 - CHARACTERISTIC COMPRESSIVE STRENGTH OF BLOCK P16 IS 15 MPa U.N.D.
 - PROVIDE REINFORCEMENT 20mm MIN. FROM INSIDE FACE OF BLOCK U.N.D.
 - PROVIDE STARTER BARS TO MATCH VERTICAL REINFORCEMENT 1600 x 600 LEGS
 - PROVIDE TE BARS TO MATCH VERTICAL REINFORCEMENT (600 x 600 LEGS)
 - PROVIDE VERTICAL CONSTRUCTION JOINTS AT 6m MAX. CTRS. TO THE APPROVAL OF THE ENGINEER UNLESS OTHERWISE DETAILED, NOTED OR SPECIFIED
 - PROVIDE REINFORCEMENT AS NOMINATED ON PLAN POSITIONED CENTRALLY WITHIN THE BLOCK CAVITY UNLESS OTHERWISE DETAILED, NOTED OR SPECIFIED

WALL REINFORCEMENT SCHEDULE

- 300 SERIES BLOCKWORK (LOAD BEARING)
- REINFORCE VERTICALLY WITH N12 AT ALL CORNERS, ADJACENT TO OPENINGS AND VENTS AND GENERALLY @ 400 MAXIMUM CENTRES
 - REINFORCE HORIZONTALLY WITH N12 ABOVE AND BELOW ALL WINDOW OPENINGS AND GENERALLY @ 400 MAXIMUM CENTRES (LAP 400 AS REQUIRED)
 - PROVIDE N12 STARTER BARS TO MATCH VERTICAL REINFORCEMENT, 400 LAP (U.N.D.) @ 400 LOD
 - PROVIDE N12 BARS TO TOP OF WALL TO MATCH VERTICAL REINFORCEMENT, 400 LAP (U.N.D.) @ 400 LOD
 - CONCRETE FILL ALL CORES (20MPa, 200mm SLUMP), 8mm MAXIMUM AGGREGATE SIZE
 - VENTS TO BE AT 80mm MAX. CENTRES AND WHERE STEP IN FOOTING OCCURS.

NOTE: BLOCKWORK SHALL BE ADEQUATELY SUPPORTED AND BRACED DURING ERECTION TO RESIST ALL APPLIED WIND AND CONSTRUCTION LOADS



STATUS: **FOR APPROVAL NOT FOR CONSTRUCTION**

ENDORSED
 Date: 19 SEP 2018
 MEDQ
 Government

APPROVAL	AMENDMENT	DATE	BY

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EMPIRE ENGINEERING
 100/101 BUNDABERG ROAD, BUNDABERG QLD 4670
 07 5441 1111
 07 5441 1112
 07 5441 1113
 07 5441 1114
 07 5441 1115
 07 5441 1116
 07 5441 1117
 07 5441 1118
 07 5441 1119
 07 5441 1120

Client: DEVCOD BUILDING Co.
 Project: PROPOSED INDUSTRIAL DEVELOPMENT LOTS 116-117 HANCOCK WAY, ALRA PRECINCT 3 - STAGE 1

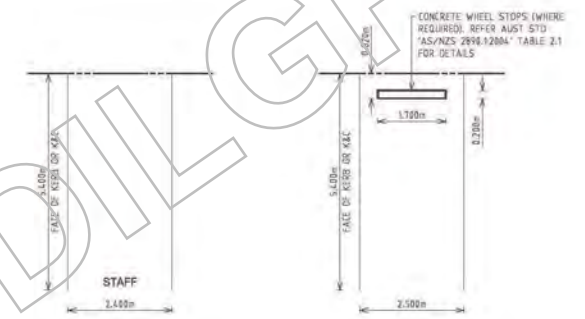
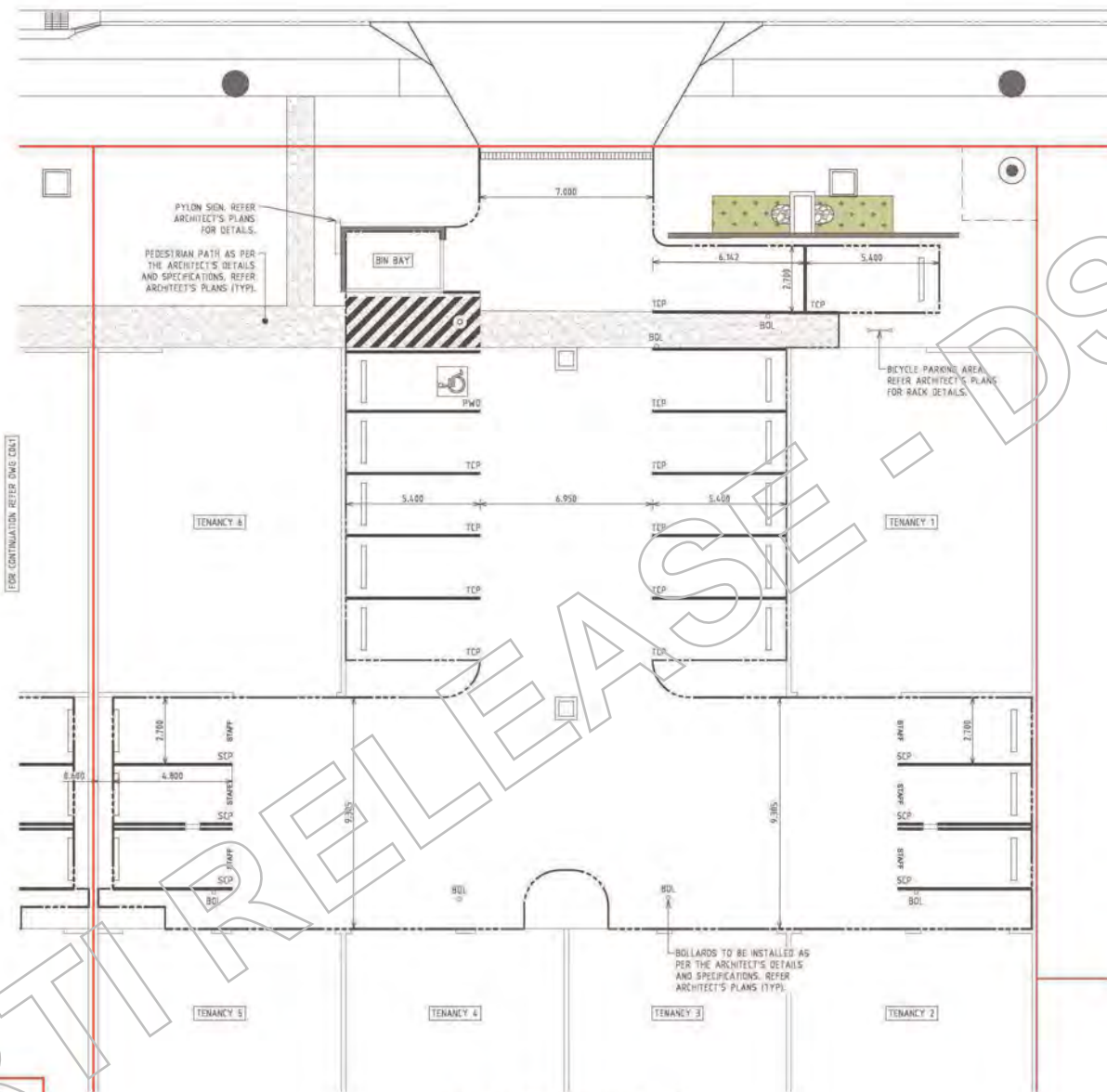
Designed: MWJ / J. GARDNER
 Approved: [Signature]
 Information: RPEC / 6990

Title: PAVEMENT AND RETAINING WALL NOTES AND DETAILS

Date: AUGUST 2018	Scale: AS NOTED
Job Ref No: SC-7686	Drawing No: C032
Issue: 1	

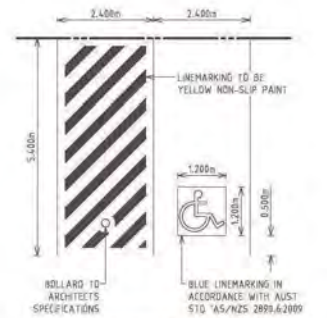
HANCOCK WAY

LEGEND	
EXISTING	PROPOSED



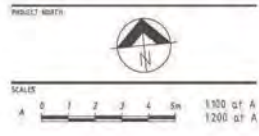
TYPICAL STAFF CARPARK LINEMARKING DETAIL (SCP)
 CARPARK LINEMARKING TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD 'AS/NZS 2899-1:2004' SPECIFICATIONS. NTS

TYPICAL CARPARK LINEMARKING DETAIL (TCP)
 CARPARK LINEMARKING TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD 'AS/NZS 2899-1:2004' SPECIFICATIONS. NTS



DISABILITY CARPARK LINEMARKING DETAIL (PWD)
 CARPARK LINEMARKING TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD 'AS/NZS 2899-1:2004' SPECIFICATIONS. NTS

NOTE:
 REFER DWG C001 FOR THE GENERAL & DRAINAGE NOTES AND DWG C041 FOR THE SIGNS & LINEMARKING NOTES



ENDORSED
 Date: 19 SEP 2018
 MEDQ

SIGNS AND LINEMARKING PLAN
 SCALE: A

NO.	DATE	BY	CHKD	APP'D	DESCRIPTION

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Client: DEVCON BUILDING Co.
 Project: PROPOSED INDUSTRIAL DEVELOPMENT
 LOTS 1146-1147 HANCOCK WAY,
 AURA PRECINCT 3 - STAGE 1

Designed: MWJ / Drawn: KGT
 Approved:

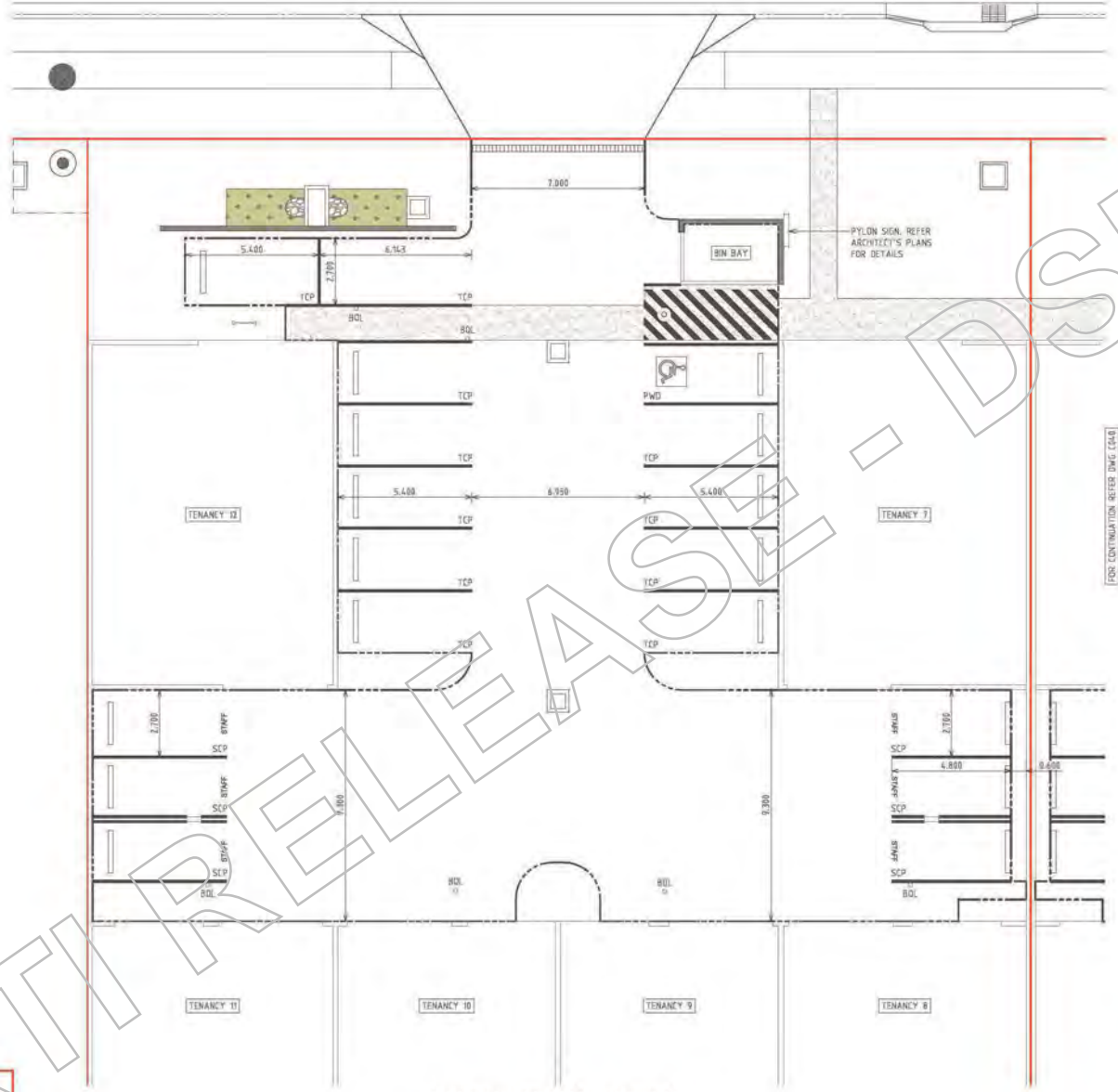
Title: SIGNS AND LINEMARKING PLAN - SHEET 1 OF 2

STATUS: **FOR APPROVAL NOT FOR CONSTRUCTION**
 Date: AUGUST 2018 Scale: AS NOTED
 Job Ref No: SC-7686 Drawing No: C040
 Iss: A

HANCOCK WAY

LEGEND	
EXISTING	PROPOSED
—	—
—	—
—	—
—	—

- SIGNAGE AND LINEMARKING NOTES**
- ALL SIGNAGE AND LINEMARKING TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD CURRENT EDITION).
 - ALL CARPARK LINEMARKING TO BE IN ACCORDANCE WITH THE DIMENSIONAL REQUIREMENTS OF AS/NZ 2890.1 2004.
 - ALL LINEMARKING SHALL BE TYPE 1 ROAD MARKING PAINT 60-100mm WIDE, REFER PBS 114.5 SPECIFICATIONS.
 - EXISTING LINEMARKING TO BE REMOVED BY EITHER MACHINE GRINDING OR SAND BLASTING METHODS.
 - DISABILITY CARPARK LINEMARKING TO AS2890.6.
 - WHEEL STOP SETOUT TO AS2890.1.
 - ALL SIGNS TO BE REFLECTORISED CLASS 1 TO AS1743 UNLESS NOTED OTHERWISE.
 - SIGNS ARE TO BE INSTALLED WITH THE FOLLOWING CLEARANCES TO EDGE OF SLOPE:
 - NO KERB = 600mm BEHIND CURB POS15
 - BARRIER KERB = 300mm FROM FACE OF KERB
 - MOUNTABLE KERB = 500mm FROM FACE OF KERB



SIGNS AND LINEMARKING PLAN
SCALE: A

NOTE:
REFER DWG C001 FOR THE GENERAL & DRAINAGE NOTES AND DWG C040 FOR CARPARK TYPICAL DETAILS



STATUS: **FOR APPROVAL NOT FOR CONSTRUCTION**

ENDORSED
Date: 19 SEP 2018
MEDQ
Queensland Government

NO.	DATE	BY	DESCRIPTION

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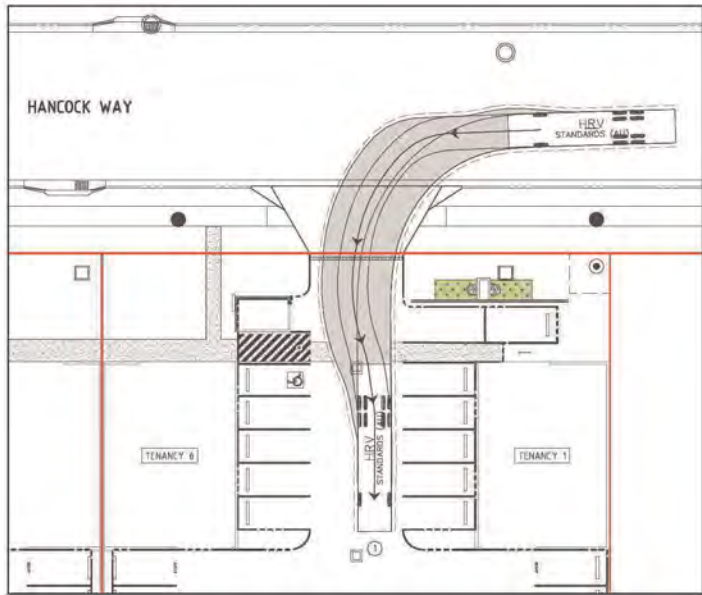
EMPIRE ENGINEERING SCM 1427531616 4380 53112701378	BUNDABERG 31 Howe Street, Bundaberg QLD 4670 PO Box 214, Bundaberg QLD 4670 TEL: 07 4652 4241 F: 07 4652 4242 E: info@empireengineering.com.au	GLADSTONE 31 Howe Street, Gladstone QLD 4750 PO Box 214, Gladstone QLD 4750 TEL: 07 4652 4241 F: 07 4652 4242 E: info@empireengineering.com.au	SUNSHINE COAST 31 Howe Street, Sunshine Coast QLD 4556 PO Box 214, Sunshine Coast QLD 4556 TEL: 07 4652 4241 F: 07 4652 4242 E: info@empireengineering.com.au
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Client: DEVCON BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 114-1147 HANCOCK WAY,
AURA PRECINCT 3 - STAGE 1

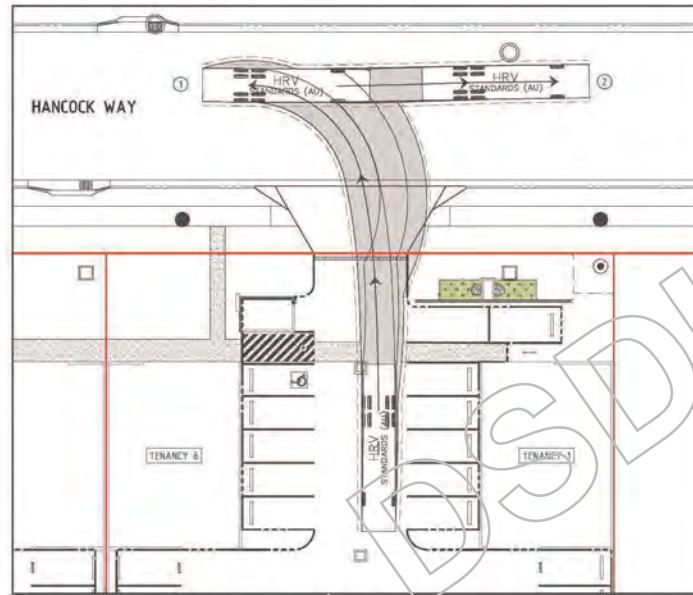
Designed: MWJ / Drawn: KGT
Approved: [Signature]
PERSEUS MULLEN / RPEQ: 6995
Information

Title: **SIGNS AND LINEMARKING PLAN - SHEET 2 OF 2**

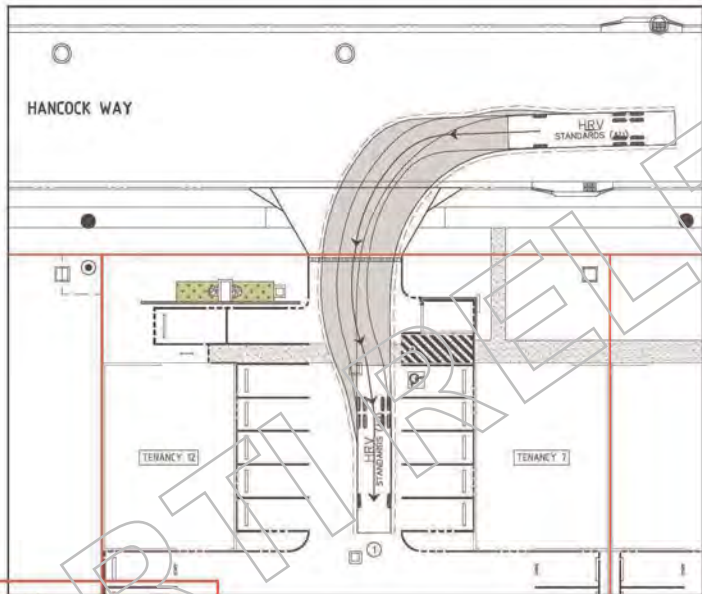
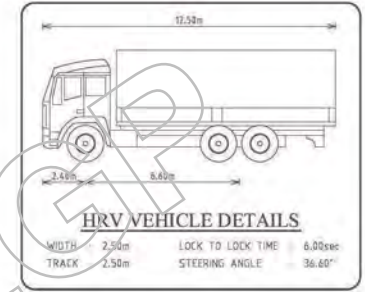
Date: AUGUST 2018	Scale: AS NOTED
Job Ref No: SC-7686	Drawing No: C041



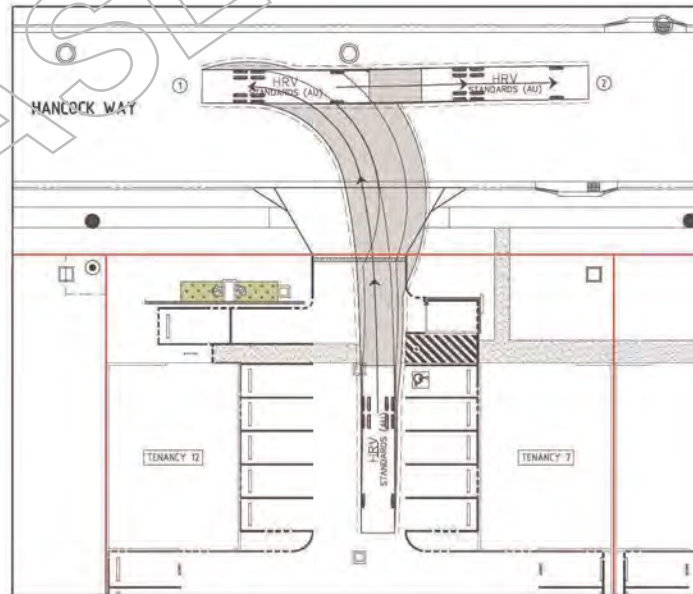
VEHICLE MOVEMENT - HRV
SITE INGRESS - LOT 1146
SCALE: A



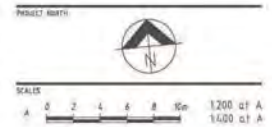
VEHICLE MOVEMENT - HRV
SITE EGRESS - LOT 1146
SCALE: A



VEHICLE MOVEMENT - HRV
SITE INGRESS - LOT 1147
SCALE: A



VEHICLE MOVEMENT - HRV
SITE EGRESS - LOT 1147
SCALE: A



STATUS: **FOR APPROVAL**
NOT FOR CONSTRUCTION
Date: AUGUST 2018 Scale: AS NOTED
Job Ref No: SC-7686 Drawing No: C050 Iss: A

ENDORSED
Date: 19 SEP 2018
MEDQ
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Rev	Description	Date	By	Appr

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Client: DEVCON BUILDING Co.
Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 1146-1147 HANCOCK WAY,
AURA PRECINCT 3 - STAGE 1

Designed: MWJ / Drawn: KDT
Approved: [Signature]

DATE: 19 SEP 2018
DRAWN BY: [Signature]
CHECKED BY: [Signature]

Title: **VEHICLE MOVEMENT ANALYSIS**

Designed: MWJ / Drawn: KDT
Approved: [Signature]

DATE: 19 SEP 2018
DRAWN BY: [Signature]
CHECKED BY: [Signature]

PARSONS MALDEN / RPEQ 6990
information



DRAWING LIST

NUMBER	NAME	REVISION ID	REV DATE	DESCRIPTION
A-000	COVER	D	23 Aug 18	Prelim Rev 3
A-010	SITE PLAN	D	23 Aug 18	Prelim Rev 3
A-011	SITE PLAN AT GROUND LEVEL	D	23 Aug 18	Prelim Rev 3
A-020	GROUND FLOOR PLAN LOT 1146	D	23 Aug 18	Prelim Rev 3
A-020A	GROUND FL PLAN LOT 1147	D	23 Aug 18	Prelim Rev 3
A-021	MEZZANINE FL LOT 1146	D	23 Aug 18	Prelim Rev 3
A-021A	MEZZANINE PLAN LOT 1147	D	23 Aug 18	Prelim Rev 3
A-027	ROOF PLAN	D	23 Aug 18	Prelim Rev 3
A-030	ELEVATIONS	D	23 Aug 18	Prelim Rev 3
A-031	SECTIONS	D	23 Aug 18	Prelim Rev 3
A-080	PERSPECTIVES	D	23 Aug 18	Prelim Rev 3
A-081	PERSPECTIVE	D	23 Aug 18	Prelim Rev 3

GENERAL NOTES

- CLASS 1 & 10 BUILDINGS** TO BE READ IN CONJUNCTION WITH ALL DRAWINGS REFER TO CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR CO-ORDINATION OF SERVICES AND EXTENT OF WORKS
- GENERALLY**
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE REFERENCED DOCUMENTS:
 - THE BUILDING CODE OF AUSTRALIA (NCC VOL 2)
 - AUSTRALIAN STANDARDS
 - AUSTRALIAN DOMESTIC CONSTRUCTION MANUAL
 - TIMBER QUEENSLAND LIMITED TIMBER FRAMING MANUALS
 - THE CONTRACTOR IS TO MAKE HIMSELF FULLY AWARE OF THE SITE, ITS LOCATION, CONDITIONS AND THE EXTENT OF WORK PRIOR TO TENDERING AND ANY CONSTRUCTION WORK ON SITE
 - ANY DISCREPANCIES FOUND BETWEEN ARCHITECTURAL AND CONSULTANT'S DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE BUILDING DESIGNER FOR RESOLUTION
 - ALL DIMENSIONS ARE IN MILLIMETRES (UNLESS NOTED OTHERWISE) USE FIGURED DIMENSIONS ONLY-DO NOT SCALE
 - THE HIERARCHY OF DOCUMENTATION IS:
 - 1. THE BUILDING CONTRACT
 - 2. WRITTEN SPECIFICATIONS (IF ANY)
 - 3. ENGINEERS DRAWINGS
 - 4. THESE GENERAL NOTES
 - 5. SCHEDULES (IF ANY)
 - 6. MANUFACTURERS SPECIFICATIONS
 - ANY CUT AND FILL IN GROUND EXCEEDING 1000mm SHALL BE PROTECTED BY AN ENGINEERED RETAINING WALL
 - ALL LEVELS MENTION ON THE DRAWINGS SHALL BE VERIFIED ON SITE DURING SET OUT AND PRIOR TO COMMENCEMENT OF ANY FILL OR EXCAVATION
 - PROVIDE AGRICULTURAL DRAIN TO BACK OF EXTERNAL BLOCKWORK RETAINING WALL WHERE ANY CUT AND FILL IS DONE
 - UNRETAINED BATTER WALL (IF ANY) SHALL NOT EXCEED 45DEG FOR CLAY AND 30DEG FOR SAND
 - WHERE BRITISH FLOOR COVERINGS SUCH AS CERAMIC TILES ARE TO BE USED OVER AN AREA GREATER THAN 150SQM PROVIDE ADDITIONAL REINFORCING TO THE SLAB AS SPECIFIED IN NCC PART 2.2.5.3
 - MATERIALS**
 - ALL MATERIALS SHALL BE NEW (UNO)
 - MATERIALS SHALL BE STORED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION
 - PROVIDE PROTECTIVE COVERINGS, AND THE LIKE, FOR THE PROPER PERFORMANCE OF THE WORK
 - CHANGES DURING CONSTRUCTION**
 - UNDER NO CIRCUMSTANCES MAY THE DRAWINGS OR THE SPECIFICATION, BE DEPARTED FROM WITHOUT WRITTEN AUTHORISATION OF THE BUILDING DESIGNER OR THE BUILDING CERTIFIER
 - IF THE BUILDING DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE ENTIRE BUILDING OR STRUCTURE
 - IF CHANGES OR ALTERATIONS ARE MADE TO ANY PART PRIOR TO, OR DURING, CONSTRUCTION WITHOUT WRITTEN APPROVAL
 - TERMITES MANAGEMENT**
 - TERMITE TREATMENT TO BE IN ACCORDANCE WITH ONE OR MORE METHODS SPECIFIED IN AS 3688-1:2008 AND NCC PART 3.1.3
 - AT LEAST TWO DURABLE NOTICES MUST BE PERMANENTLY FIXED TO THE BUILDING IN PROMINENT LOCATIONS SUCH AS IN A METER BOX AND A SITCHEN DOOR/BOARD, OR THE LIKE, DESCRIBING METHOD OF TREATMENT, DATE OF INSTALLATION, LIFE EXPECTANCY WHERE CHEMICAL BARRIER IS USED AND THE INSTALLER'S RECOMMENDATIONS FOR THE SCOPE AND FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY
 - FOOTINGS AND SLABS
 - EXCAVATION OF FOOTING AND FILLING UNDER CONCRETE SLABS TO BE IN ACCORDANCE WITH NCC PART 3.2.2
 - REFER TO ENGINEERS DRAWINGS FOR DETAILS OF CONCRETE AND REINFORCING - A VAPOUR BARRIER MUST BE INSTALLED, AS DETERMINED IN ACCORDANCE WITH CRITERIA SPECIFIED IN AS 2878 CLASS 5 & 3.2(C) UNDER SLAB ON GROUND CONSTRUCTION FOR ALL CLASS 1 BUILDINGS AND FOR CLASS 10 BUILDINGS WHERE THE SLAB IS CONTIGUOUS WITH THE SLAB OF CLASS 1 BUILDING
 - THE PLATFORM IMMEDIATELY SURROUNDING THE BUILDING SHALL FALL AWAY FROM THE RESIDENCE AT A SLOPE OF MINIMUM 1 IN 20
 - MASONRY**
 - REFER TO ENGINEERS DETAILS FOR REINFORCEMENT AND CONTROL JOINTS IN MASONRY WALLS
 - IN BRICK VENEER AND CAVITY MASONRY CONSTRUCTION THE CAVITY BETWEEN THE INNER AND OUTER WALLS FOR BRICK VENEER SHALL NOT BE LESS THAN 25mm WIDTH AND CAVITY MASONRY NOT LESS THAN 25mm OR MORE THAN 80mm WIDTH
 - OPEN PERPENDICULAR JOINTS (WEEP HOLES) MUST BE CREATED IN THE COURSE IMMEDIATELY ABOVE ANY DAMPCOURSE OR FLASHING AT CENTRES NOT EXCEEDING 1.2m AS STATED NCC PART 3.3.4.3

- HEIGHT OF DPC SHALL NOT BE LESS THAN 150mm ABOVE THE ADJACENT GROUND LEVEL OR 75mm ABOVE THE EXTERNAL FINISHED SURFACE OR 50mm ABOVE FINISHED PAVED, CONCRETE OR LANDSCAPED AREAS THAT ARE PROTECTED WITH THE DIRECT EFFECT OF WEATHER BY A CARPORT, VERANDA OR THE LIKE
- FIRE PROTECTION**
 - SMOKE ALARMS SHALL BE LOCATED ON THE CEILINGS IN ACCORDANCE WITH NCC PART 3.7.2
- CORROSION PROTECTION**
 - ALL FASTENERS EXPOSED EXTERNALLY SHALL BE HOT DIPPED GALVANISED OR CONTACT WITH CCA-TREATED TIMBER THEY SHALL BE HOT DIPPED GALVANISED AND COATED WITH EPOXY PAINT OR AS OTHERWISE APPROVED
- METAL ROOF SHEETING**
 - SHEETS MUST BE LAID USING COMPLETE LENGTHS FROM EAVES TO RIDGE
 - ROOF FLASHING AND CAPPING MUST BE PURPOSE MADE, MACHINE FOLDED SHEET METAL SECTION OF MATERIALS COMPATIBLE WITH ALL UP AND DOWNSTREAM METAL ROOF COVERING MATERIALS IN ACCORDANCE WITH NCC PART 3.5.1.3(C)
 - COLLAR FLASHINGS MUST PERMIT THE TOTAL DRAINAGE OF THE AREA ABOVE THE PENETRATION
- STORMWATER DRAINAGE**
 - THE ROOF DRAINAGE SYSTEM SHALL NOT ALLOW ANY OVERFLOW DURING HEAVY RAIN PERIODS TO FLOW BACK INTO THE BUILDING
 - SIZE OF GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH NCC TABLE 3.7.2.2
 - GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS AND 1:100 FOR BOX GUTTERS
 - EAVES GUTTERS MUST BE FIXED BY BRACKETS SECURELY FIXED AT STOP ENDS AT MAXIMUM 1.2m CENTRES
 - VALLEY GUTTERS ON A ROOF WITH A PITCH GREATER THAN 12 DEG MUST HAVE A WIDTH OF NO LESS THAN 400mm AND BE WIDE ENOUGH TO ALLOW THE ROOF COVERINGS TO OVERLAP NOT LESS THAN 150mm EACH SIDE OF THE GUTTER
 - VALLEY GUTTERS ON A ROOF WITH NOT MORE THAN 12.5deg MUST BE DESIGNED AS BOX GUTTERS
 - DOWNPIPES MUST NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE AND BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS IF DOWNPIPES ARE MORE THAN 12m FROM THE VALLEY PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER
 - SURFACE DRAINAGE SHALL BE DISCHARGED EVENLY WITHIN THE SITE AND WITHOUT HINDRANCE TO ADJOINING PROPERTIES
- BUILDING SERVICES**
 - SERVICES MUST NOT BE CHASED INTO CONCRETE OR MASONRY WALLS
 - ALL PLUMBING AND DRAINAGE WORK TO BE IN ACCORDANCE WITH AUSTRALIAN NATIONAL PLUMBING CODE AS3500 AND LOCAL COUNCIL WATER SUPPLY AND PLUMBING CODE. SEWERAGE AND STORM WATER PIPES SHALL BE 100mm DIA UNLESS NOTED OTHERWISE. PIPE GRADIENTS SHALL BE NOT LESS THAN 1 IN 80 FOR SEWERAGE LINES (100mm DIA) DRAIN AND 1 IN 100 FOR STORMWATER LINES
 - PIPES SHALL BE LAID COMPLETE WITH ALL NECESSARY BENDS, TRAPS JUNCTIONS AND INSPECTION OPENINGS

HEALTH AND AMENITY

- WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH NCC TABLE 3.8.1.1
- WET AREA CONSTRUCTION, DRAINAGE AND WATERPROOFING SHALL BE IN ACCORDANCE WITH NCC PART 3.8
- DOOR SWING INTO TOILET COMPARTMENTS TO BE FITTED WITH LIFT OFF HINGES
- GLAZING**
 - PERFORMANCE REQUIREMENTS ARE SATISFIED FOR GLAZING AND WINDOWS IN EXTERNAL WALLS IF DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS2047 AND NCC PART 3.6 WITH EXCEPTION THAT TABLE 2.1 AND 2.3 OF AS2047 IS REPLACED WITH BCA TABLE 2.1 AND 2.5
- THERMAL INSULATION, SHADING, VENTILATION, GLAZING, BUILDING SEALING AND SERVICES SHALL COMPLY WITH ENERGY EFFICIENCY PROVISIONS NOTED IN NCC PART 3.12**
- THE BUILDER SHALL NOT CHANGE THE SPECIFIED SIZE, MATERIAL AND DESIGN OF ANY PART OF THE BUILDING WITHOUT CONSULTING THE BUILDING DESIGNER, AS THESE COULD AFFECT THE ENERGY ASSESSMENT RATING
- PAINTING**
 - APPLY STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - A MINIMUM COAT SYSTEM IS TO BE PROVIDED
 - SIZE OF GUTTERS AND DOWNPIPES MUST BE PRIMED WITH OIL BASED PAINT
- COMPLETION**
 - ON COMPLETION OF THE WORKS, CLEAR THE SITE OF ALL DEBRIS, RUBBISH, ETC.
 - INTERNAL REMOVE ALL STAINS, DIRT, DUST, PAINT DROPPINGS, ETC AND CLEAN ALL WINDOWS, FLOORS, WALLS AND CEILING
 - COLLECT AND LABEL KEYS AND HAND OVER TO CLIENT
 - SUPPLY A COPY OF THE APPLICABLE FOLLOWING REPORTS/CERTIFICATES TO THE CERTIFIER TO ENABLE A CERTIFICATE OF OCCUPANCY TO BE ISSUED:
 - 1. SITE CLASSIFICATION REPORT
 - 2. ENGINEERS CERTIFICATE
 - 3. SOIL COMPACTION REPORT (IF ANY)
 - 4. TERMITE MANAGEMENT CERTIFICATE
 - 5. WALL FRAMING MANUFACTURERS CERTIFICATE
 - 6. ROOF FRUITS MANUFACTURERS CERTIFICATE
 - 7. WATERPROOFING OF WET AREAS CERTIFICATE
 - 8. GLAZING CERTIFICATE
 - 9. ELECTRICITY AUTHORITY TEST NOTICE
 - 10. GAS SUPPLY TEST NOTICE
 - 11. ANY OTHER RELEVANT CERTIFICATE

QDC PART MP 4.1 SUSTAINABLE BUILDINGS - effective from 1st February 2013

(a) New Building work in class 1 buildings and renovations with planning approval in class 1 buildings is subject to water and energy efficiency measures (1, 2, 3, 4, 5 & 6), respectively (b) Existing class 1 buildings at the time of renovation and/or other renovation are subject to water and energy efficiency measures (1, 2 & 3)

1. (1) Energy Efficiency to comply with:
(a) parts 3.12.1, 3.12.2, 3.12.3 and 3.12.4 of the BCA 2010 (Volume 2) except for buildings in climate zones 1 and 2, designated 3.12.1.5(a)(i) and (ii); or
(b) verification using a reference building in accordance with V2.6.2.2 of the BCA 2010 (Volume 2); or
(c) software rating of not less than 6 stars; or
(d) in climate zones 1, 2 and 3, a combination of a software rating of not less than 4.5 stars and a nominal credit obtained under (2) to reach a total of 6 stars; or
(e) in climate zone 3, a combination of a software rating of not less than 5 stars and a nominal credit obtained under (2) to reach a total of 6 stars; or
(f) part 3.12 of the BCA 2010 (Volume 2), while a nominal credit of not less than 1 star is obtained under (2).

(2) For the purposes of (1)(b)-(f) the following nominal credits apply:
(a) 0.5 star where a building includes an outdoor living area, the roof covering of which achieves a Total R_v value of at least 1.5 for downward heat flow;
(b) 1 star where a building includes an outdoor living area the roof covering of which achieves a Total R_v value of at least 1.5 for downward heat flow and the outdoor living area includes a permanently installed ceiling fan with a speed controller and a cable rotation diameter of not less than 900 mm; (c) 1 star where a building has a solar photovoltaic system of at least 1kW capacity (maximum power output) is installed.
2. Energy Efficient Domestic Services - Class Buildings, including a verandah, balcony or an enclosed class 1(a) building attached to a class 1 building, have:
(a) artificial lighting that complies with Part 3.12.5.1 of BCA 2010 (Volume 2); or
(b) energy efficient lighting for a minimum of 60 per cent of total fixed artificial lighting.
3. A water heater in a hot water supply system can be an electrical resistance heater of any other type of heater
(1) Water Conservation - Shower Roses - Where buildings are in areas serviced by a water service provider all shower roses have a minimum 3-star Water Efficiency Labelling and Standards rating.
2. Water Conservation - Toilet Cisterns & Bowls - Where buildings are in areas serviced by a water service provider all toilet cisterns:
(a) have a dual flush function and have a minimum 4-star Water Efficiency Labelling and Standards rating, and
(b) are compatible with the size of the toilet bowl to allow for proper functioning of this toilet.
3. Water Conservation - Toilet Cisterns & Bowls - Where buildings are in areas serviced by a water service provider all tap wares to have a minimum 3-star Water Efficiency Labelling and Standards rating by tap saving:
(a) laundry tubs, and
(c) basins.
REFER QDC PART MP 4.1 FOR FULL DETAILS

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- Verify all dimensions on site prior to the commencement of work.
- Do not scale off these drawings.
- Report discrepancies to the DEVCON before carrying out work.

DOCUMENT STATUS & REVIEW

Issue#	Date	Milestone	Check

AMENDMENTS

Date	Description	Author	Checked

PROJECT
at Lot 1146-1147
Hancock Way
BARINGA

CLIENT
DEVCON BUILDING
CO

DEVCON
BUILDING CO

P O BOX 1296
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE - 07 5370 1800

GEOC 64750

DRAWING TITLE

COVER

Date	Drawn	Rev	Check
SD	23 Aug 18		@ A3

JOB NO. 1146-1147AUR DRAWING NO. A-000 SHEET NO. D

BUILDING PLATFORM - 3.50
MAIN FLOOR SLAB HEIGHT - 3.80
FINAL LEVELS TO BE DETERMINED
BY BUILDER ON SITE

ALL LEVELS ARE AHD

EARTHWORKS TO COMPLY WITH
BCA PART 3.1.1
SITE SURFACE DRAINAGE TO
COMPLY WITH BCA PART 3.1.2.2 &
3.1.2.3

RPD
LOT 1147 and 1146 on RP SP209290
PARISH OF BRIBIE
COUNTY OF CANNING
LOCAL AUTHORITY - SUNSHINE COAST COUNCIL
AREA - 1908m² EACH

SEWERAGE TO COUNCIL DESIGN
STORMWATER TO DISCHARGE
INTO EXISTING SYSTEM TO
COUNCIL REQUIREMENTS

DRIVEWAY AND CROSSOVER TO COMPLY WITH
SEQ R-050

AREA SCHEDULE		
NAME	LEVEL	AREA
TENANCY 1	FLOOR PLAN	141.13 m ²
TENANCY 1	MEZZANINE	151.46 m ²
		292.59 m ²
TENANCY 2	FLOOR PLAN	195.34 m ²
TENANCY 2	MEZZANINE	72.41 m ²
		257.76 m ²
TENANCY 3	FLOOR PLAN	167.52 m ²
TENANCY 3	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 4	FLOOR PLAN	167.52 m ²
TENANCY 4	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 5	FLOOR PLAN	187.48 m ²
TENANCY 5	MEZZANINE	70.43 m ²
		257.91 m ²
TENANCY 6	FLOOR PLAN	143.10 m ²
TENANCY 6	MEZZANINE	63.27 m ²
		206.37 m ²
TENANCY 7	FLOOR PLAN	143.10 m ²
TENANCY 7	MEZZANINE	62.92 m ²
		206.03 m ²
TENANCY 8	FLOOR PLAN	187.50 m ²
TENANCY 8	MEZZANINE	70.43 m ²
		257.92 m ²
TENANCY 9	FLOOR PLAN	167.52 m ²
TENANCY 9	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 10	FLOOR PLAN	167.52 m ²
TENANCY 10	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 11	FLOOR PLAN	195.34 m ²
TENANCY 11	MEZZANINE	72.42 m ²
		257.76 m ²
TENANCY 12	FLOOR PLAN	141.13 m ²
TENANCY 12	MEZZANINE	146.67 m ²
		288.00 m ²
GRAND TOTAL		2893.55 m ²

SITE COVERAGE - LOT 1147
Lot Area 1908.00m²
Building Footprint 1167.26m²
Site Coverage 61.1%

Landscaping % - 190M² (10%)

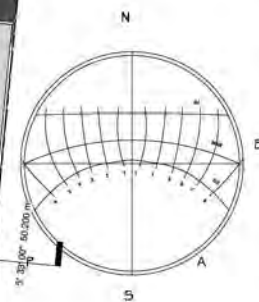
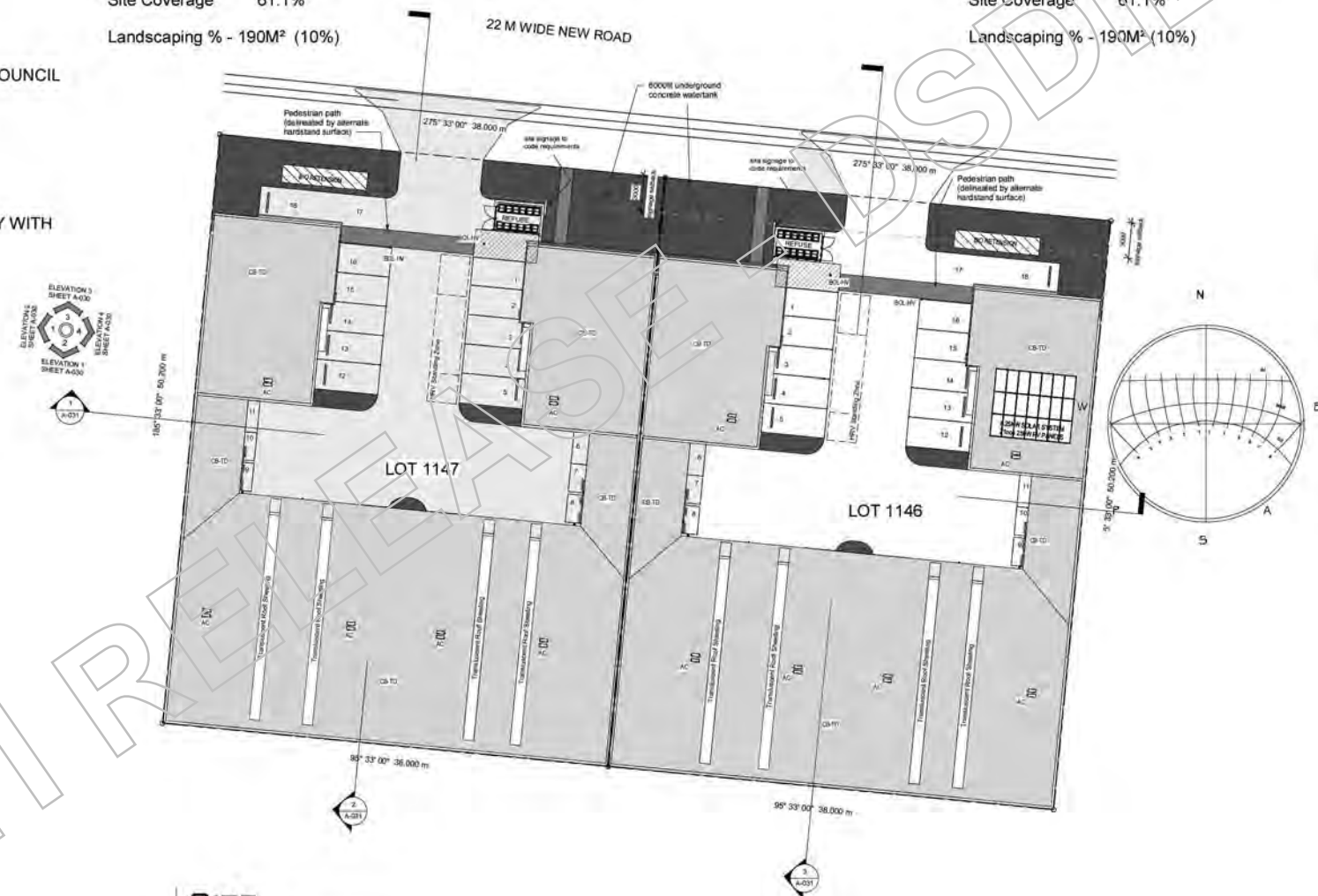
SITE COVERAGE - LOT 1146
Lot Area 1908.00m²
Building Footprint 1167.26m²
Site Coverage 61.1%

Landscaping % - 190M² (10%)

ELECTRICAL NOTE

LIGHT ENAMATING FROM ANY SOURCE TO COMPLY WITH
AUSTRALIA STANDARD AS4282 (CONTROL OF OBTRUSIVE
EFFECTS OF OUTDOOR LIGHTING)

LEGEND	
Abbreviation	Description
AC	Access
CB	Car Bay
CB-TO	Car Bay to Office
CB-TR	Car Bay to Retail
CB-TO	Car Bay to Office
CB-TR	Car Bay to Retail



SITE
SCALE: 1 : 200

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• Do not scale off these drawings.
• Report discrepancies to the DEVCON before carrying out work.

DOCUMENT STATUS & REVIEW			
Issue	Date	Milestone	Check

AMENDMENTS	
No.	Description

PROJECT
at Lot 1146-1147
Hancock Way
BARINGA

CLIENT
DEVCON BUILDING CO



P. O. BOX 1296
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE: 07 5370 1800

QBCC 54758

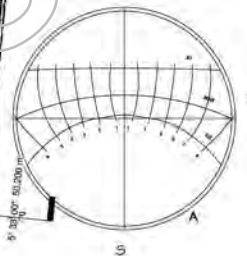
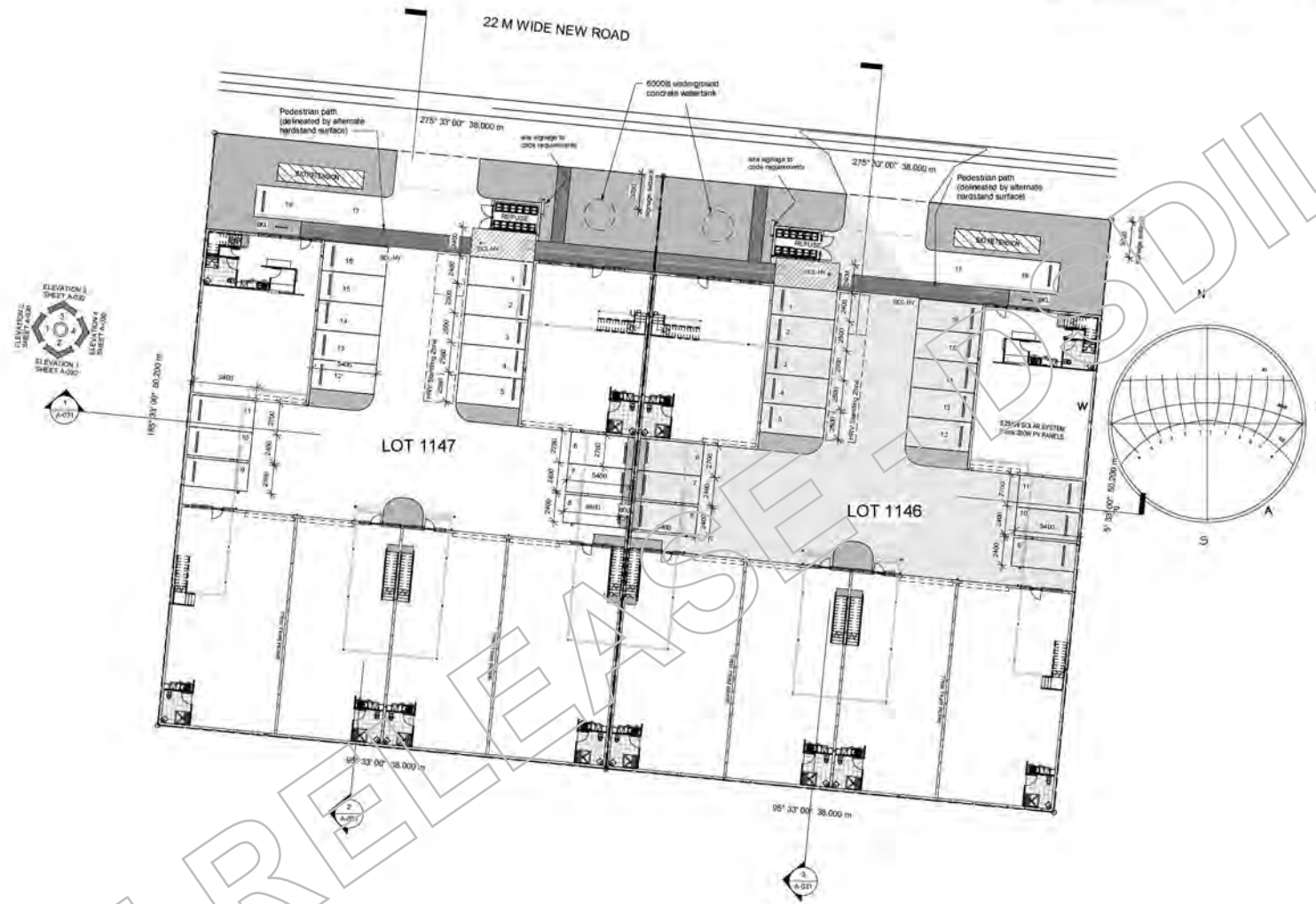
DRAWING TITLE
SITE PLAN

DATE	ISSUE	BY	SCALE
SD	SD	23 Aug 18	1:200 @
job no.	drawing no.	issue	A3
L1146-1147AUR	A-010	D	

ELECTRICAL NOTE

LIGHT EMANATING FROM ANY SOURCE TO COMPLY WITH AUSTRALIA STANDARD AS4282 (CONTROL OF OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING)

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1 SITE PLAN at GR LVL
1 : 200

DOCUMENT STATUS & REVIEW

Issue	Date	Milestone	Check

AMENDMENTS

No.	Description	Date

PROJECT

at Lot 1146-1147
Hancock Way
BARINGA

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DEVCON BUILDING
CO



P.O. BOX 1296
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE 07 5370 1800

QBS00541760

DRAWING TITLE

SITE PLAN AT GROUND
LEVEL

Author	Checker	Date	Scale	Sheet

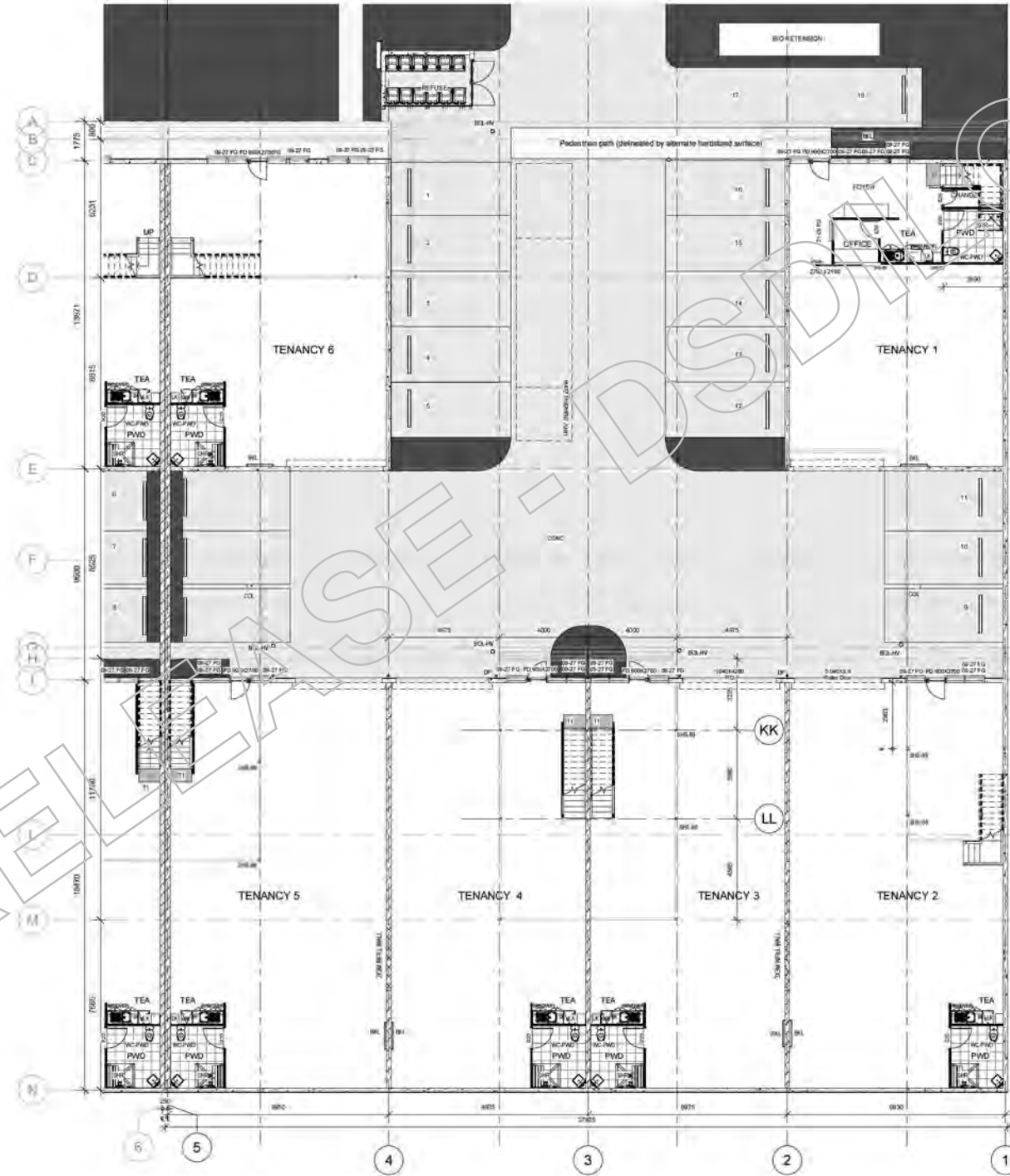
1:200 @
A3

L1146-1147AUR	A-011	D
---------------	-------	---

NAME	LEVEL	AREA
TENANCY 1	FLOOR PLAN	141.13 m²
TENANCY 1	MEZZANINE	151.40 m²
		292.59 m²
TENANCY 2	FLOOR PLAN	195.34 m²
TENANCY 2	MEZZANINE	72.41 m²
		267.76 m²
TENANCY 3	FLOOR PLAN	167.52 m²
TENANCY 3	MEZZANINE	42.29 m²
		209.80 m²
TENANCY 4	FLOOR PLAN	167.52 m²
TENANCY 4	MEZZANINE	42.29 m²
		209.80 m²
TENANCY 5	FLOOR PLAN	167.48 m²
TENANCY 5	MEZZANINE	70.43 m²
		237.91 m²
TENANCY 6	FLOOR PLAN	143.10 m²
TENANCY 6	MEZZANINE	63.27 m²
		206.37 m²
TENANCY 7	FLOOR PLAN	143.10 m²
TENANCY 7	MEZZANINE	62.62 m²
		205.72 m²
TENANCY 8	FLOOR PLAN	167.59 m²
TENANCY 8	MEZZANINE	70.43 m²
		238.02 m²
TENANCY 9	FLOOR PLAN	167.52 m²
TENANCY 9	MEZZANINE	42.29 m²
		209.80 m²
TENANCY 10	FLOOR PLAN	167.52 m²
TENANCY 10	MEZZANINE	42.29 m²
		209.80 m²
TENANCY 11	FLOOR PLAN	165.34 m²
TENANCY 11	MEZZANINE	72.42 m²
		237.76 m²
TENANCY 12	FLOOR PLAN	141.13 m²
TENANCY 12	MEZZANINE	146.87 m²
		288.00 m²
GRAND TOTAL		2803.56 m²

LEGEND

Abbreviation	Description
DR	DRILLING POINT
EL	ELEVATION
FP	FLOOR FINISH
IF	INTERIOR FINISH
LD	LOADING DOCK
ME	METAL DECK
PL	PLATFORM
RF	RAISED FLOOR
RL	RAISED LEVEL
ST	STAIR
TR	TRELLIS
WC	WATER CLOSET
WEL	WELL
WT	WATER TREATMENT



GR FL PLAN-LOT 1146
 SCALE: 1:100

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DOCUMENT STATUS & REVIEW

Issue	Date	Milestone	Check

AMENDMENTS

No.	Date	Description

PROJECT
 at Lot 1146-1147
 Hancock Way
BARINGA

CLIENT
 DEVCON BUILDING CO

DEVCON
 BUILDING CO

P O BOX 1296
 14/5 LUTANA STREET
 BUDDINA QLD 4575
 PHONE 07 5370 1800

0800-547650

DRAWING TITLE

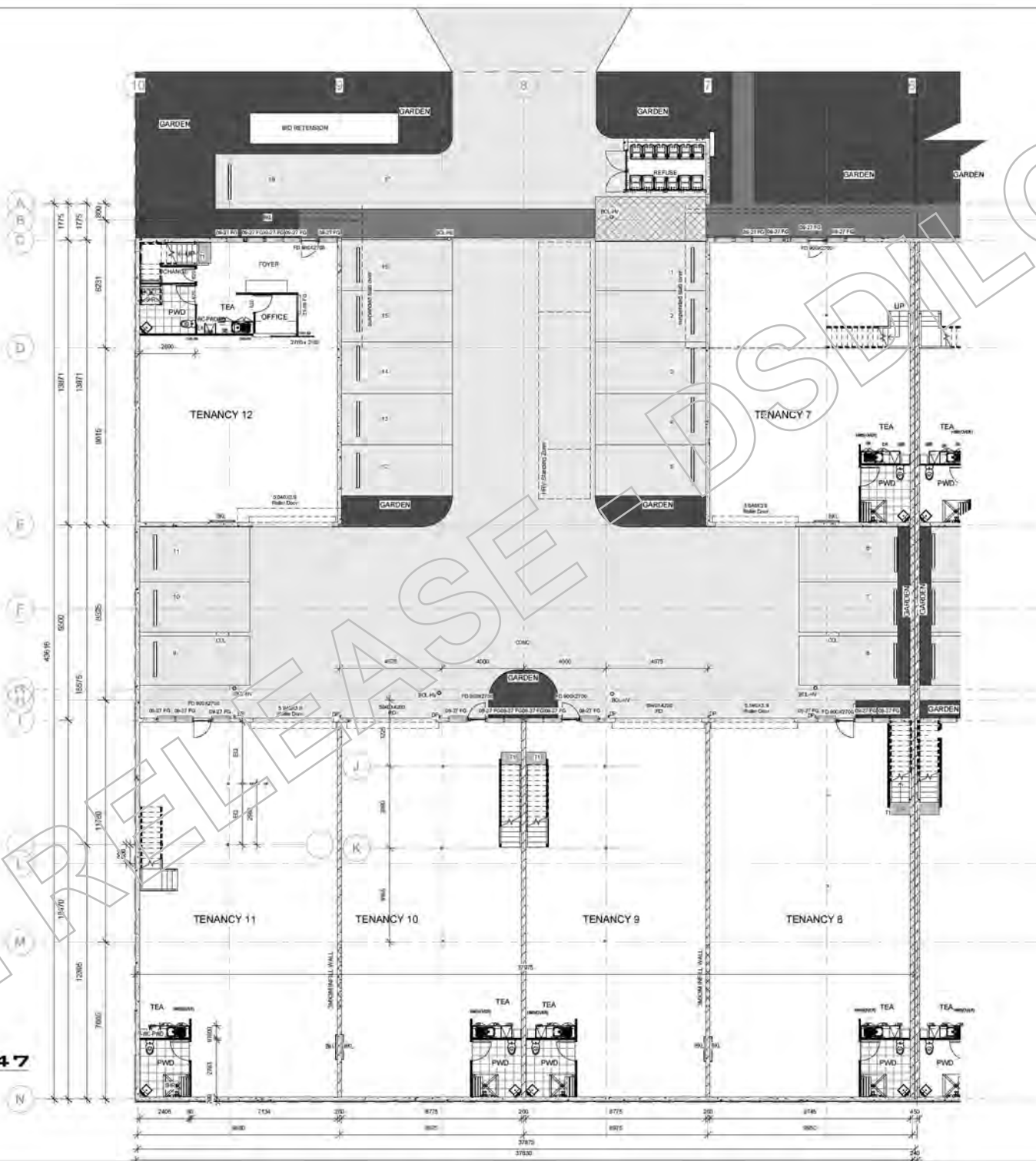
GROUND FLOOR PLAN
 LOT 1146

Drawn	Check	Appr	Issue	Date	Scale
SD	SO	23 Aug 18	1:100 @		
job no.	draw no.	issue			
L1146-1147AUR	A-020	D			

ENDORSED AREA SCHEDULE		
TENANCY NAME	FLOOR PLAN	AREA
TENANCY 1	FLOOR PLAN	141.13 m ²
TENANCY 1	MEZZANINE	151.46 m ²
		262.59 m ²
TENANCY 2	FLOOR PLAN	185.34 m ²
TENANCY 2	MEZZANINE	72.41 m ²
		257.76 m ²
TENANCY 3	FLOOR PLAN	167.53 m ²
TENANCY 3	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 4	FLOOR PLAN	167.53 m ²
TENANCY 4	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 5	FLOOR PLAN	167.48 m ²
TENANCY 5	MEZZANINE	70.43 m ²
		257.91 m ²
TENANCY 6	FLOOR PLAN	143.10 m ²
TENANCY 6	MEZZANINE	63.27 m ²
		206.37 m ²
TENANCY 7	FLOOR PLAN	143.10 m ²
TENANCY 7	MEZZANINE	62.92 m ²
		206.03 m ²
TENANCY 8	FLOOR PLAN	187.50 m ²
TENANCY 8	MEZZANINE	70.43 m ²
		257.92 m ²
TENANCY 9	FLOOR PLAN	167.52 m ²
TENANCY 9	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 10	FLOOR PLAN	167.52 m ²
TENANCY 10	MEZZANINE	42.29 m ²
		209.80 m ²
TENANCY 11	FLOOR PLAN	185.34 m ²
TENANCY 11	MEZZANINE	72.42 m ²
		257.76 m ²
TENANCY 12	FLOOR PLAN	141.13 m ²
TENANCY 12	MEZZANINE	146.97 m ²
		288.00 m ²
GRAND TOTAL		2963.55 m ²

LEGEND	
Abbreviation	Description
ALL	ALL WORK TO BE COMPLETED AS SHOWN
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE
ALL	ALL WORK TO BE COMPLETED AS SHOWN UNLESS NOTED OTHERWISE

GR FL PLAN-LOT 1147
SCALE: 1 : 100



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DOCUMENT STATUS & REVIEW			
Issue	Date	Milestone	Check

AMENDMENTS	

PROJECT
 at Lot 1146-1147
 Hancock Way
 BARINGA

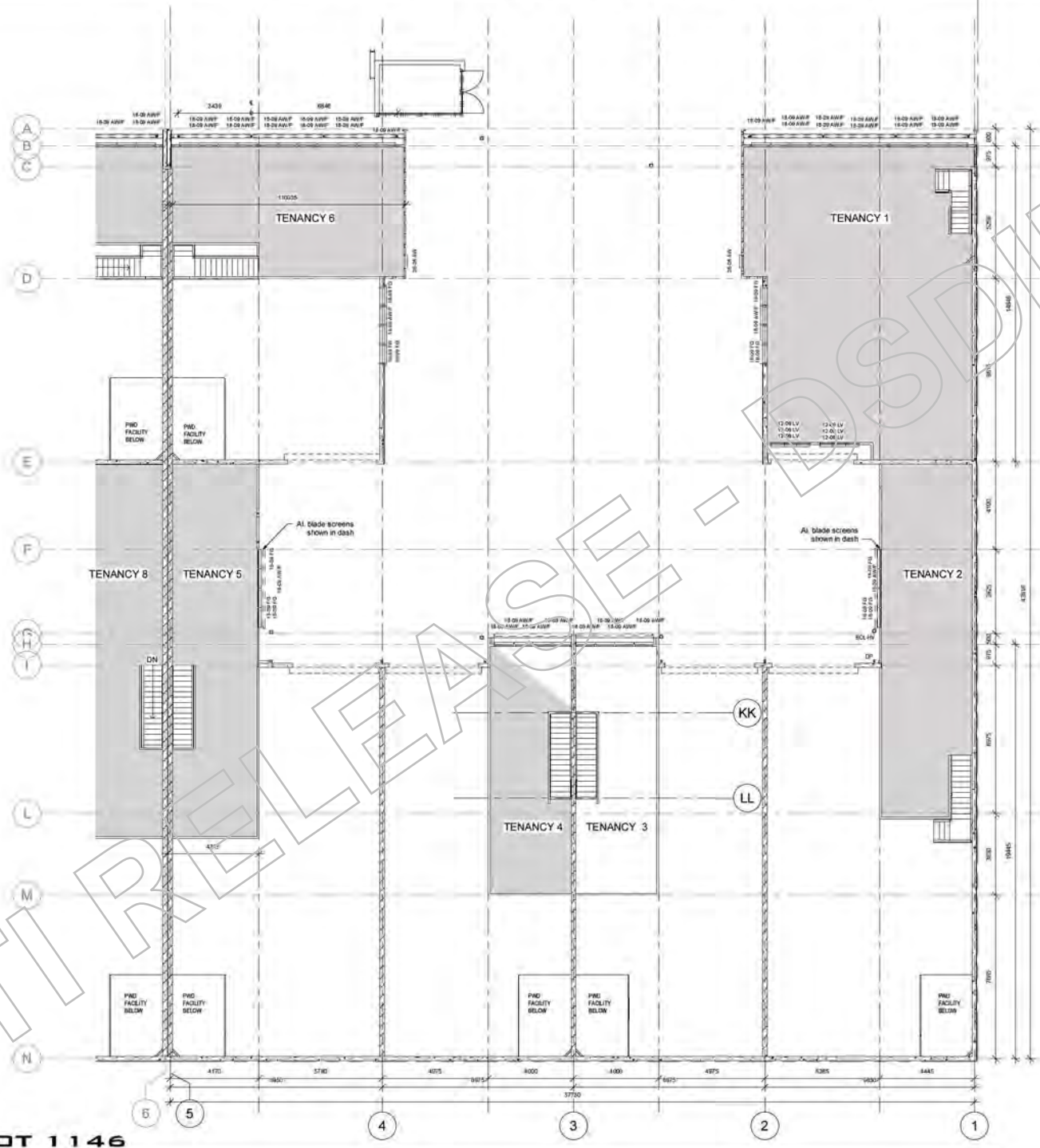
CLIENT
 DEVCON BUILDING
 CO

DEVCON
 BUILDING CO

P O BOX 1296
 14/5 LUTANA STREET
 BUDDINA QLD 4575
 PHONE 07 5370 1800

QBCC 54750

DRAWING TITLE			
GROUND FL PLAN LOT 1147			
sd	xx	23 Aug 18	1:100 @
job no.	dwg no.	issue	A3
L1146-1147AUR	A-020A	D	



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DOCUMENT STATUS & REVIEW

Issue	Date	Milestone	Check

AMENDMENTS

Rev	Issue	Date

PROJECT
 at Lot 1146-1147
 Hancock Way
 BARINGA

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QBCC 54758

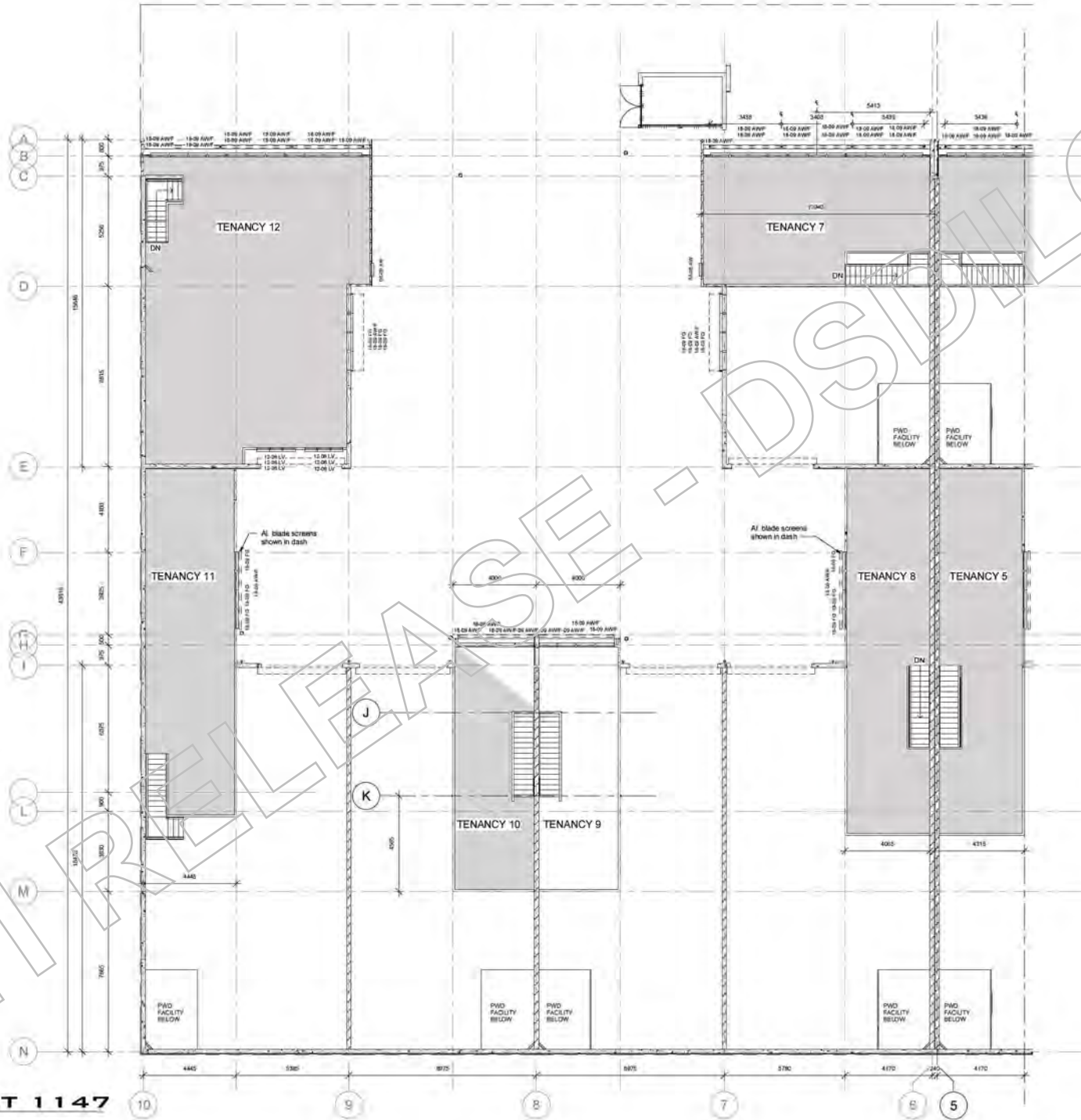
DRAWING TITLE

MEZZANINE FL
 LOT 1146

Rev	Issue	Date	Scale
SD	SD	23 Aug 18	1:100 @
job no.	dwg no.	issue	A3
L1146-1147AUR	A-021	D	

MEZZANINE LOT 1146
 SCALE: 1:100

23/08/2018 8:14:47 AM



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DOCUMENT STATUS & REVIEW			
Issue	Date	Milestone	Check

AMENDMENTS	
No.	Description

PROJECT
 at Lot 1146-1147
 Hancock Way
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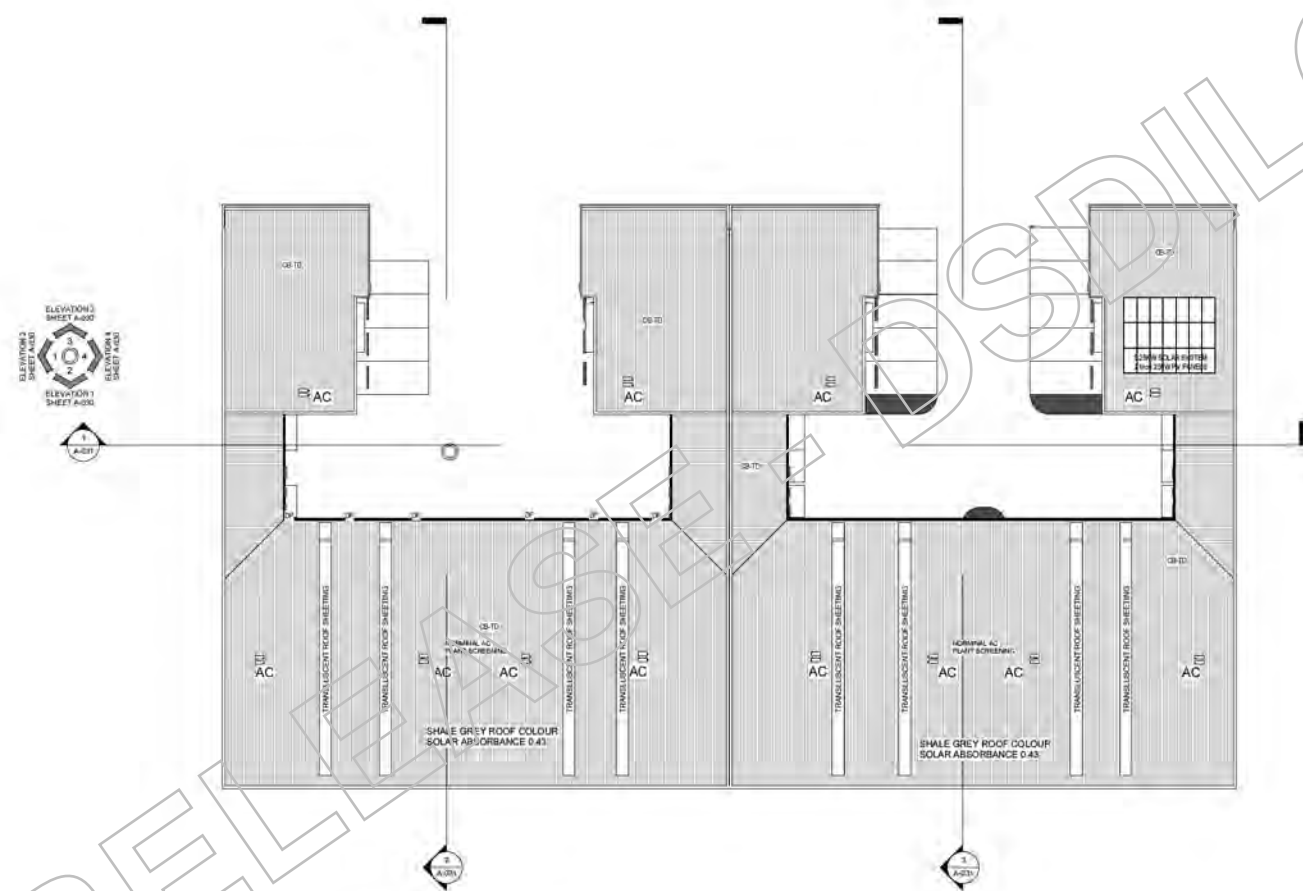
QBCC 54758

DRAWING TITLE
**MEZZANINE PLAN
 LOT 1147**

MEZZANINE LOT 1147
 SCALE: 1 : 100

Rev	Desc	Date	Scale
SD	SD	23 Aug 18	1 : 100 @
job no.	dwg no.	issue	A3
L1146-1147AUR	A-021A	D	

20060018 8:14:47 AM



ROOF LEVEL
 SCALE: 1 : 200

ROOF WATER DRAINAGE

ALL ROOF WATER DRAINAGE SYSTEMS MUST BE CONNECTED TO A STORMWATER DRAINAGE SYSTEM COMPLYING WITH BCA PART 3.1.1 DRAINAGE OR AS/NZS3500.

THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING.

THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM BCA TABLE 3.3.2.1 OR FROM AS/NZS3500.

GUTTERS AND DOWNSPIES MUST BE SELECTED FROM BCA TABLE 3.3.2.2 OR FROM AS/NZS3500.

EAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 80 WITH SUPPORT BRACKETS AT 1.2M MAXIMUM CENTRES.

SOFFIT GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 80 IN ACCORDANCE WITH AS/NZS3500.

THE WIDTH OF VALLEY GUTTERS SHALL BE IN ACCORDANCE WITH AS/NZS3500 AND BCA PART 3.3.2.

REFER TO ROOF SHEETING MANUFACTURERS SPECIFICATIONS FOR LIMITATIONS ON SHEET OVERLAP AND INTO VALLEY GUTTERS. THE MAXIMUM HOOP CATCHMENT AREA FOR VALLEY GUTTERS IN SOFFIT VALLEY GUTTERS ON ROOF PITCHED LESS THAN 12.5° MUST BE DESIGNED AS SOFFIT GUTTERS.

DOWNSPIES MUST SERVE NOT MORE THAN 12 METRES OF GUTTER LENGTH FOR EACH DOWNSPIE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS.

EAVES GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNSPIES ARE LOCATED MORE THAN 1.2 METRES FROM A VALLEY GUTTER.

LEGEND	
Symbol	Description
Symbol	Description
Symbol	Description

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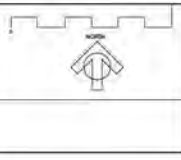
AMENDMENTS	
No.	Description

DEVCON
 BUILDING
 P. O. BOX 1296
 145 LITANA STREET
 BUDGINA QLD 4575
 PHONE 07 5370 1800
 QBCC 54758

PROJECT
PROPOSED BUILDING
 at Lot 1146-1147 Hancock Way BARINGA

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DRAWING TITLE
ROOF PLAN

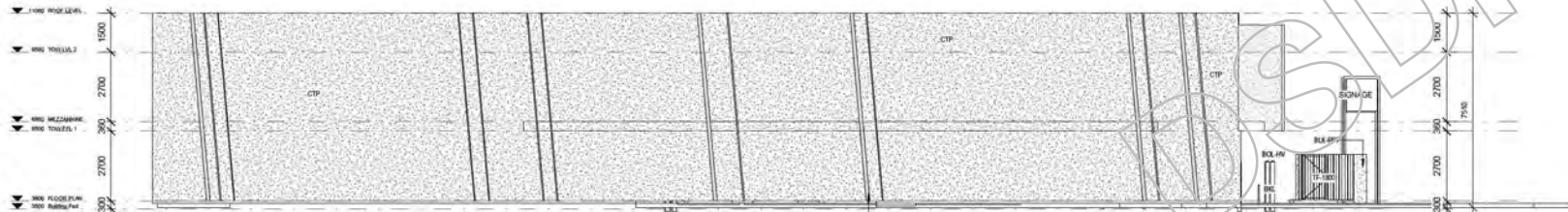


CCL	CGL	19 Apr 2018	1 : 200 @
job no.	dwg no.	issue A1	
L1146-1147AUR	A-027	D	

20/06/2018 10:51 AM



ELEVATION 1
SCALE: 1 : 100



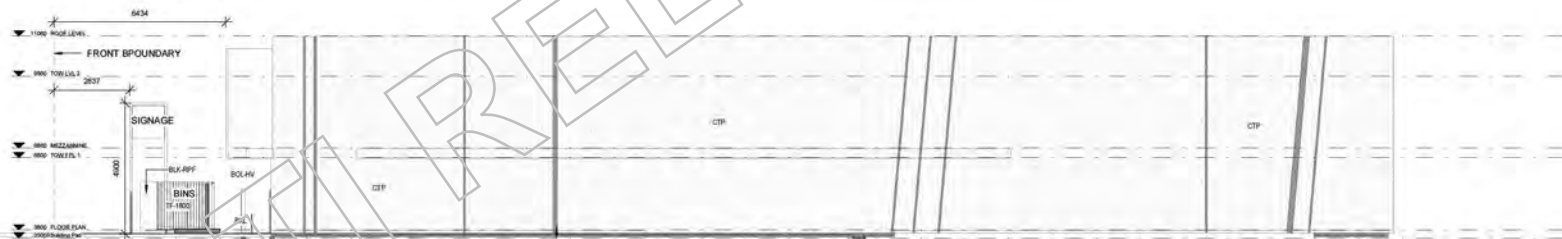
ELEVATION 2
SCALE: 1 : 100

LEGEND	
Abbreviation	Description
BCL	CONCRETE BOUNDARY WALL TO WALL
BCL.PFF	CONCRETE BOUNDARY WALL TO WALL (PREFINISHED)
BCLAV	CONCRETE BOUNDARY WALL TO WALL (ALUMINIUM VENEER)
BCLAV	CONCRETE BOUNDARY WALL TO WALL (ALUMINIUM VENEER)
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS

ROOF - COLOURBOND COLOUR 'SHALE GREY' (SOLAR ABSORBANCE 0.43)



ELEVATION 3
SCALE: 1 : 100



ELEVATION 4
SCALE: 1 : 100

LEGEND	
Abbreviation	Description
BCL	CONCRETE BOUNDARY WALL TO WALL
BCL.PFF	CONCRETE BOUNDARY WALL TO WALL (PREFINISHED)
BCLAV	CONCRETE BOUNDARY WALL TO WALL (ALUMINIUM VENEER)
BCLAV	CONCRETE BOUNDARY WALL TO WALL (ALUMINIUM VENEER)
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS
CTP	CONCRETE TILT PANEL TO CONCRETE DETAILS

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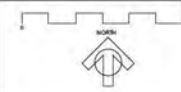
AMENDMENTS			
No.	Date	Description	By

DEVCON
BUILDING CO.
P. O. BOX 1296
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE: 07 5370 1800
OBCC 54758

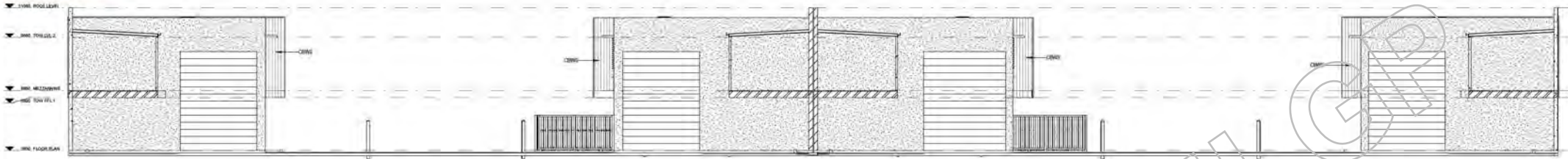
PROJECT
PROPOSED BUILDING
at Lot 1146-1147 Hancock Way BARINGA

CLIENT
DEVCON BUILDING CO

DRAWING TITLE
ELEVATIONS



DATE	BY	CHKD	APP	SCALE
SD	XX	19 Apr 2018	1 : 100 @	
job no.		dwg no.		issue
L1146-1147AUR		A-030		D



SECTION 1
SCALE: 1 : 100



SECTION 2
SCALE: 1 : 100



SECTION 3
SCALE: 1 : 100

LEGEND	
Abbreviation	Description

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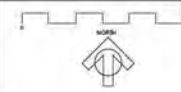
AMENDMENTS	
NO.	DESCRIPTION

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BUILDING CO.
P. O. BOX 1296
14/5 LUTANA STREET
BUDDINA QLD 4575
PHONE: 07 5370 1800
QBCC 54758

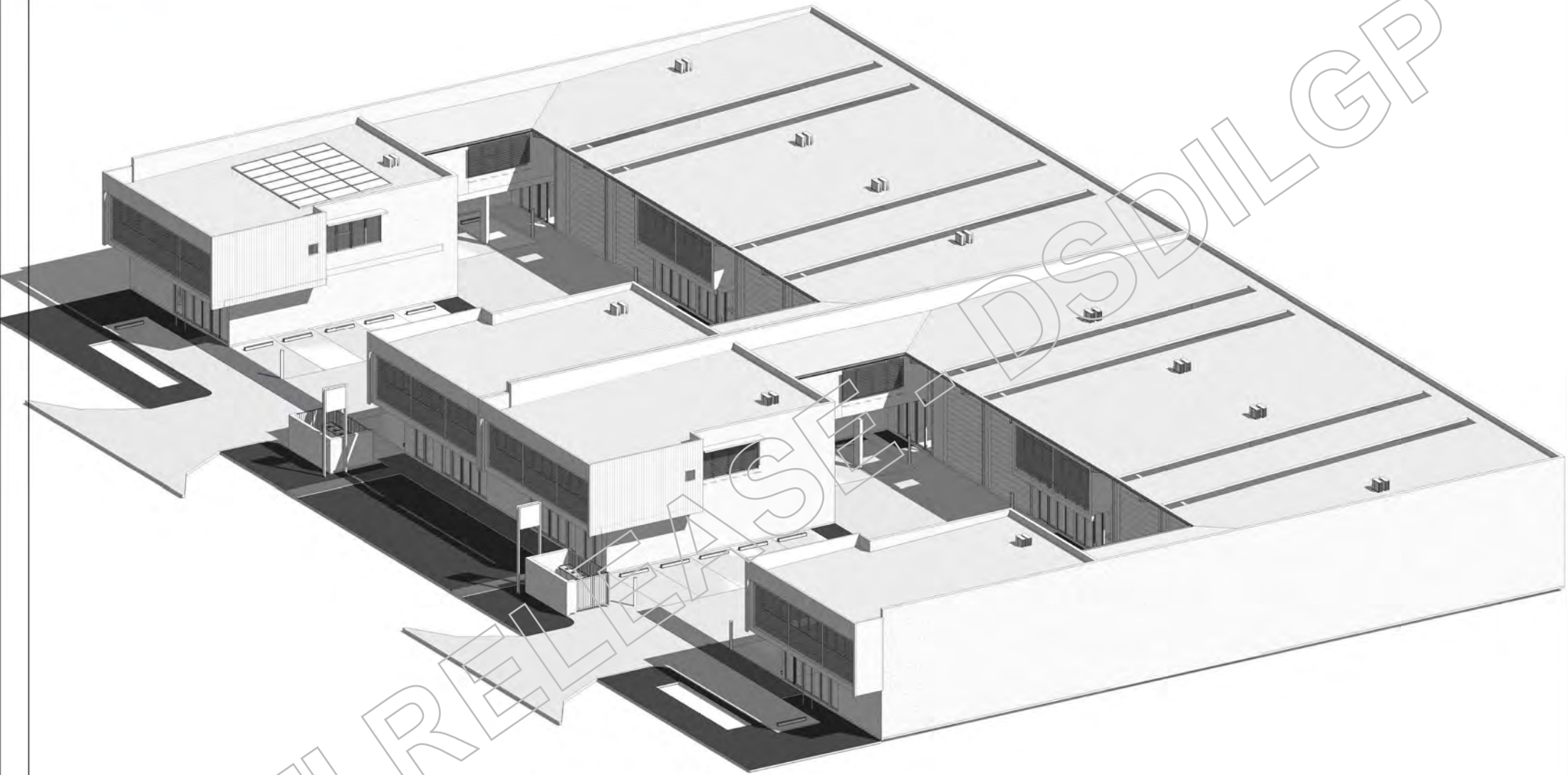
PROJECT
PROPOSED BUILDING
at Lot 1146-1147 Hancock Way BARINGA

CLIENT
DEVCON BUILDING CO

DRAWING TITLE
SECTIONS



DATE	BY	APP'D	SCALE
SD	SD	19 Apr 2018	1 : 100
job no.		dwg no.	issue AT
L1146-1147AUR		A-031	D



2 VIEW 2

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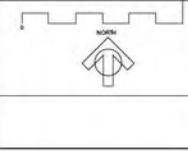
AMENDMENTS			
NO	DATE	DESCRIPTION	BY

DEVCON
BUILDING Co
P. O. BOX 1296
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BUDDINA QLD 4575
PHONE: 07 5370 1800
QBCC 54758

PROJECT
PROPOSED BUILDING
at Lot 1146-1147 Hancock Way BARINGA

CLIENT
DEVCON BUILDING CO

DRAWING TITLE
PERSPECTIVES



DATE	BY	CHECK	DATE	SCALE
SD	XX	19 Apr 2018		@ A1
job no.		dwg no.		ISSUE
L1146-1147AUR		A-080		D

Form 11— Certificate / Interim Certificate of Classification

<p>1. Type of Certificate Indicate the type of Certificate of Classification being issued.</p> <p>Interim Certificate: Issued pending the carrying out of the inspection, when due to a building's location, it is not practicable for a building certifier to inspect a building to decide if it has been substantially completed.</p>	<table border="1"> <tr> <td>Certificate of Classification</td> <td><input checked="" type="checkbox"/> Interim Certificate of Classification</td> </tr> <tr> <td colspan="2">Date Interim Certificate of Classification will expire if applicable</td> </tr> <tr> <td colspan="2">20-02-2020</td> </tr> </table>	Certificate of Classification	<input checked="" type="checkbox"/> Interim Certificate of Classification	Date Interim Certificate of Classification will expire if applicable		20-02-2020					
Certificate of Classification	<input checked="" type="checkbox"/> Interim Certificate of Classification										
Date Interim Certificate of Classification will expire if applicable											
20-02-2020											
<p>2. Owner details If the applicant is a company, a contact person must be shown.</p>	<p>Name (natural person or company)</p> <p>Devcon Capital 3 Pty Ltd</p>										
<p>3. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include No., street, suburb / locality and postcode)</p> <p>24-26 Hancock Way Bells Creek Postcode 4551</p> <p>Lot & plan details (attach list if necessary) In which local government area is the land situated?</p> <p>1146-1147SP298754 Sunshine Coast Regional Council</p>										
<p>4. Classification The building or part thereof described is classified as follows in accordance with Part A3 of the Building Code of Australia having regard to the use for which it was designed, built or adapted. If a part of the building is classified differently to another part – state the part to which each classification relates.</p>	<table border="1"> <thead> <tr> <th>Part of Building / Description</th> <th>Class of Building / Part</th> </tr> </thead> <tbody> <tr> <td>12 Commercial Sheds</td> <td>7b+8</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Part of Building / Description	Class of Building / Part	12 Commercial Sheds	7b+8						
Part of Building / Description	Class of Building / Part										
12 Commercial Sheds	7b+8										
<p>5. Max No. of people permitted If applicable, state the maximum number of people permitted in the building and the portion it applies to.</p>	<table border="1"> <thead> <tr> <th>Maximum population</th> <th>Part of building</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Maximum population	Part of building								
Maximum population	Part of building										
<p>6. Restrictions on the use or occupation of the building If the building work uses a building solution within the meaning of Building Code of Australia or the Queensland Development Code, restricting the use or occupation of the building, state the restriction. For example, a limitation on the use of finishes with the fire hazard properties as defined under the Building Code of Australia.</p>	<p>Restrictions</p> <p>The following restrictions apply to the use or occupation of the building:</p>										

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

7. Alternative Solutions

If the building work uses an alternative solution, state the applicable materials, systems, methods of building, procedures, specifications and other relevant requirements.

This will provide building owners and occupiers with a concise and practical explanation of alternative solutions that may have some operational implications on the use of the building. This will also help ensure the ongoing use of the building and any future modifications do not compromise compliance with the performance requirements of the applicable building code.

Alternative solution requirements

The following systems and procedures form part of the alternative solution:

RTI REQUEST - DSDIL GP

8. Building Certifier

If the certifier is a company, a contact person must be shown.

Name of building certifier (in full)

Terry Neller

Licence number

A921828

Signature

RTI REQUEST - DSDIL GP
Sch 4(1)(f) - Disclosing personal information
Sch 4(1)(b) - Disclosing personal information

Date

21/11/2019

Building Approval Reference Number

20180399

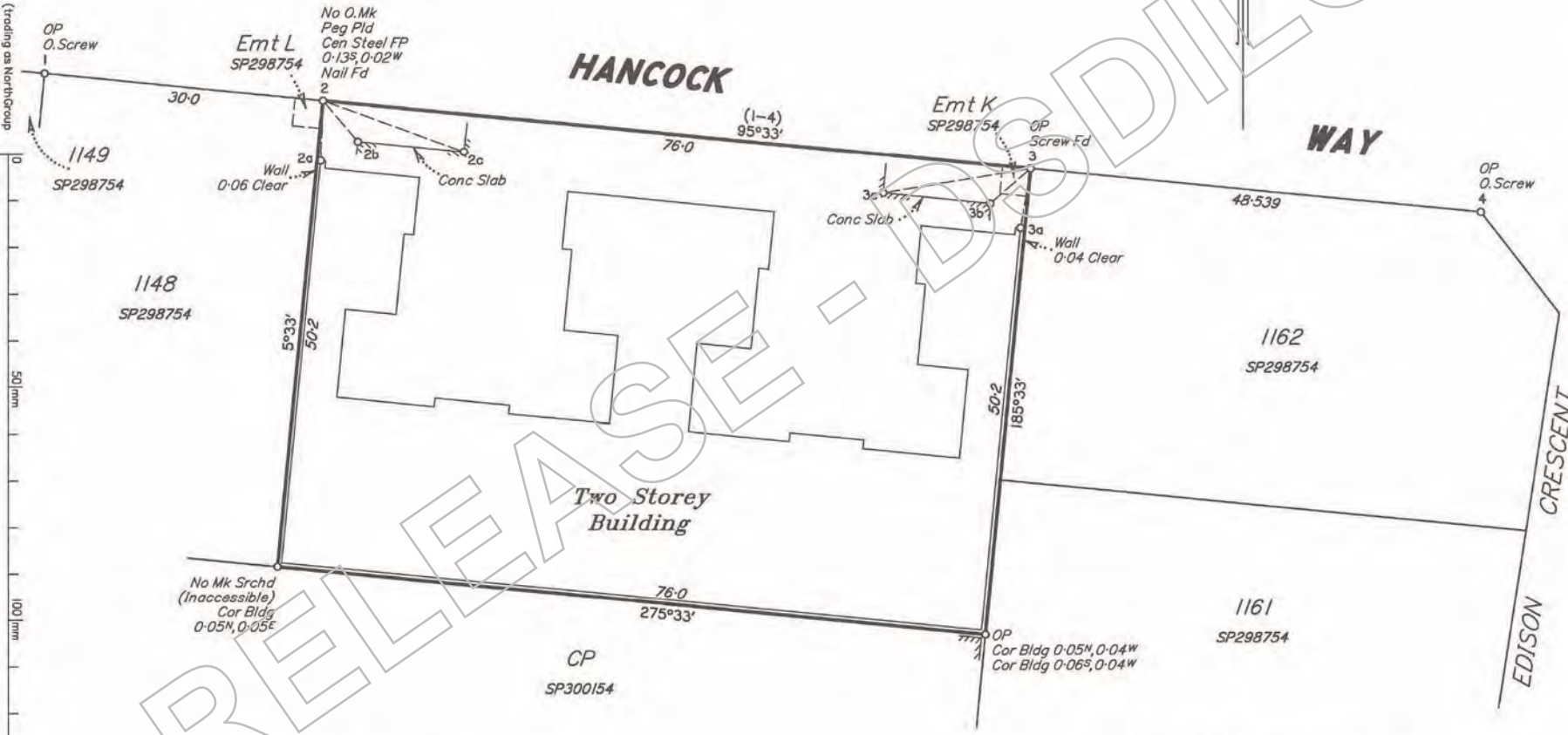
Area of Base Parcel
3815 m²

Reinstatement Report

Plans searched - SP298754, SP300154, IS277704
Original reference marks found at stations 1 and 4.
The boundaries have been reinstated using these original marks which agree with the original dimensions shown on SP298754 and the existing corner marks found.

North Surveys Pty Ltd ACN 010 803 291 (trading as NorthGroup Consulting) hereby certify that the land comprised in this plan was surveyed by the corporation, by David Arthur COPELEY, Cadastral Surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was complete.

20/11/2019
Date



LOCAL GOVERNMENT: REGIONAL SUNSHINE COAST
LOCALITY: BARINGGA
Merridian: MGA ZONE 56 WIDE SP298754
Survey Records: No

Plan of Lots 1-12 and Common Property
Cancelling Lot 1146 & 1147 on SP298754

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	O.Screw in Kerb	43a/IS277704	4°18'	4.893
2	Nail Fd in Kerb		331°45'	3.173
3	Screw Fd in Kerb		23°41'	5.18
4	O.Screw in Kerb	45/IS277704	100°42'	11.317

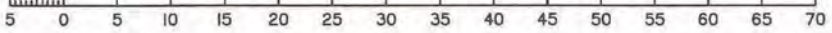
CONNECTIONS TO BUILDING

LINE	BEARING	DIST	DESCRIPTOR
2-2a	184°52'	6.44	Cor Wall
3-3a	185°56'	6.44	Cor Wall

CONNECTIONS TO STRUCTURES

LINE	BEARING	DIST	DESCRIPTOR
2-2b	140°0'	5.75	Cor Conc
2-2c	110°05'	16.0	Cor Conc
3-3b	228°56'	5.7	Cor Conc
3-3c	260°37'	15.99	Cor Conc

Scale 1:500 - Lengths are in Metres.



Scale: 1:500
State copyright reserved.

Form: BUILDING

SP302540



WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

5. Lodged by

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

1/We DEVCON CAPITAL 3 PTY LTD
A.C.N. 624 842 066

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

* Rule out whichever is inapplicable

2. Planning Body Approval.

* MINISTER FOR ECONOMIC DEVELOPMENT QUEENSLAND
hereby approves this plan in accordance with the:

ECONOMIC DEVELOPMENT ACT 2012

Dated this 28 day of November 2019
MINISTER FOR ECONOMIC DEVELOPMENT QUEENSLAND
BY ITS AUTHORISED DELEGATE

_____ # _____
* Insert the name of the Planning Body. # Insert applicable approving registration.
Insert designation of signatory or delegation.

3. Plans with Community Management Statement :

CMS Number :
Name : ONYX Business Park

4. References :

Dept File :
Local Govt :
Surveyor : 202337

6. Existing		Credited		
Title Reference	Description	New Lots	Road	Secondary Interests
51154579	Lot 1146 on SP298754	1-6 & CP		
51154580	Lot 1147 on SP298754	7-12 & CP		

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
718905080 (Emt K on SP298754)	CP

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
719073435	1-6	

EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS

Administrative Advice	Lots to be Encumbered
712292989	1-12 & CP
712292992	1-12 & CP
712293010	1-12 & CP

Date of Development Approval: 01/11/2018

9. Building Format Plans only.

I certify that:
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining lot and road.
[Redacted] 20/11/2019
Cadastral Surveyor/Director Date
*delete words not required

10. Lodgement Fees :

Survey Deposit \$
Lodgement \$
New Titles \$
Photocopy \$
Postage \$
TOTAL \$

1-12 & CP	Por 505
Lots	Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By: NORTH SURVEYS PTY LTD
Date: 20/11/2019
Signed: [Redacted]
Designation: CS/DIRECTOR

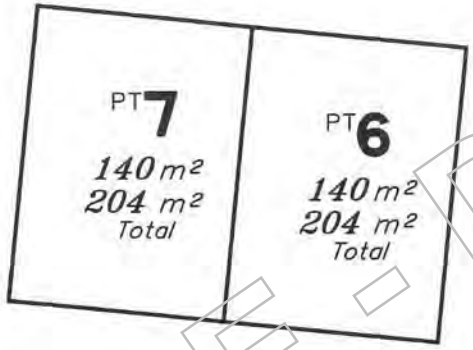
11. Insert Plan Number **SP302540**

LEVEL A

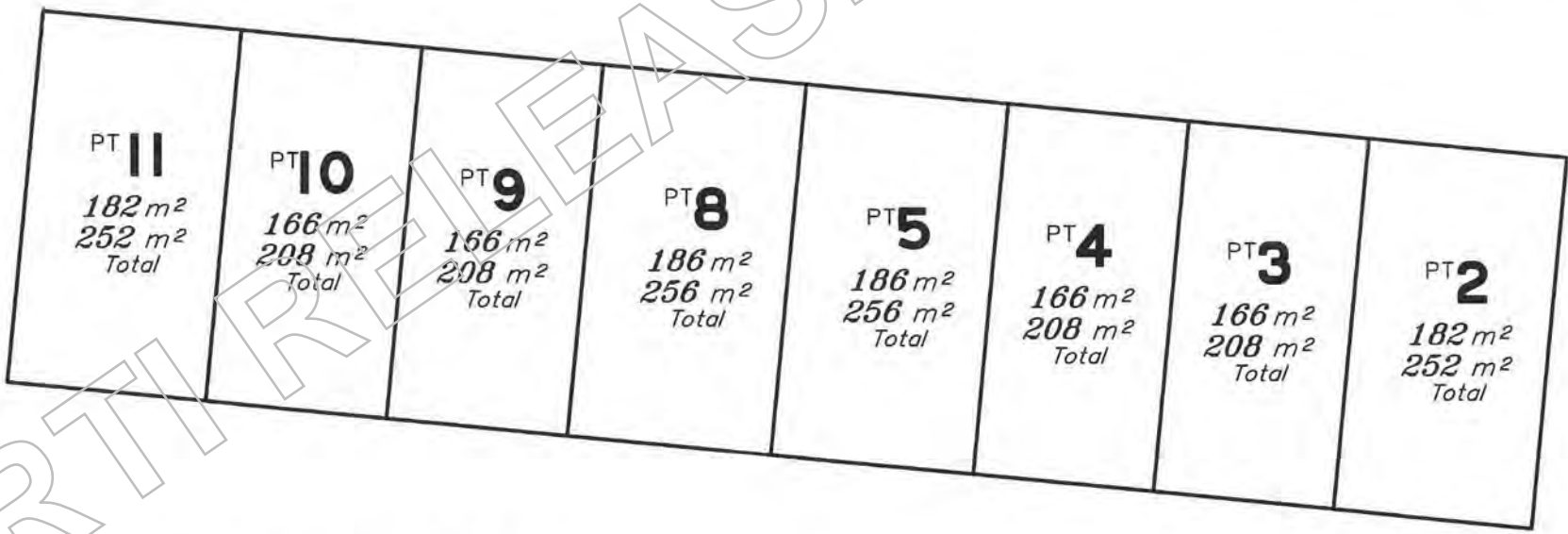
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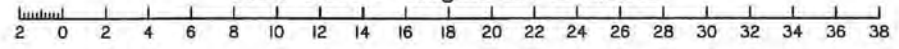
Common Property



Common Property



Scale 1:250 - Lengths are in Metres.



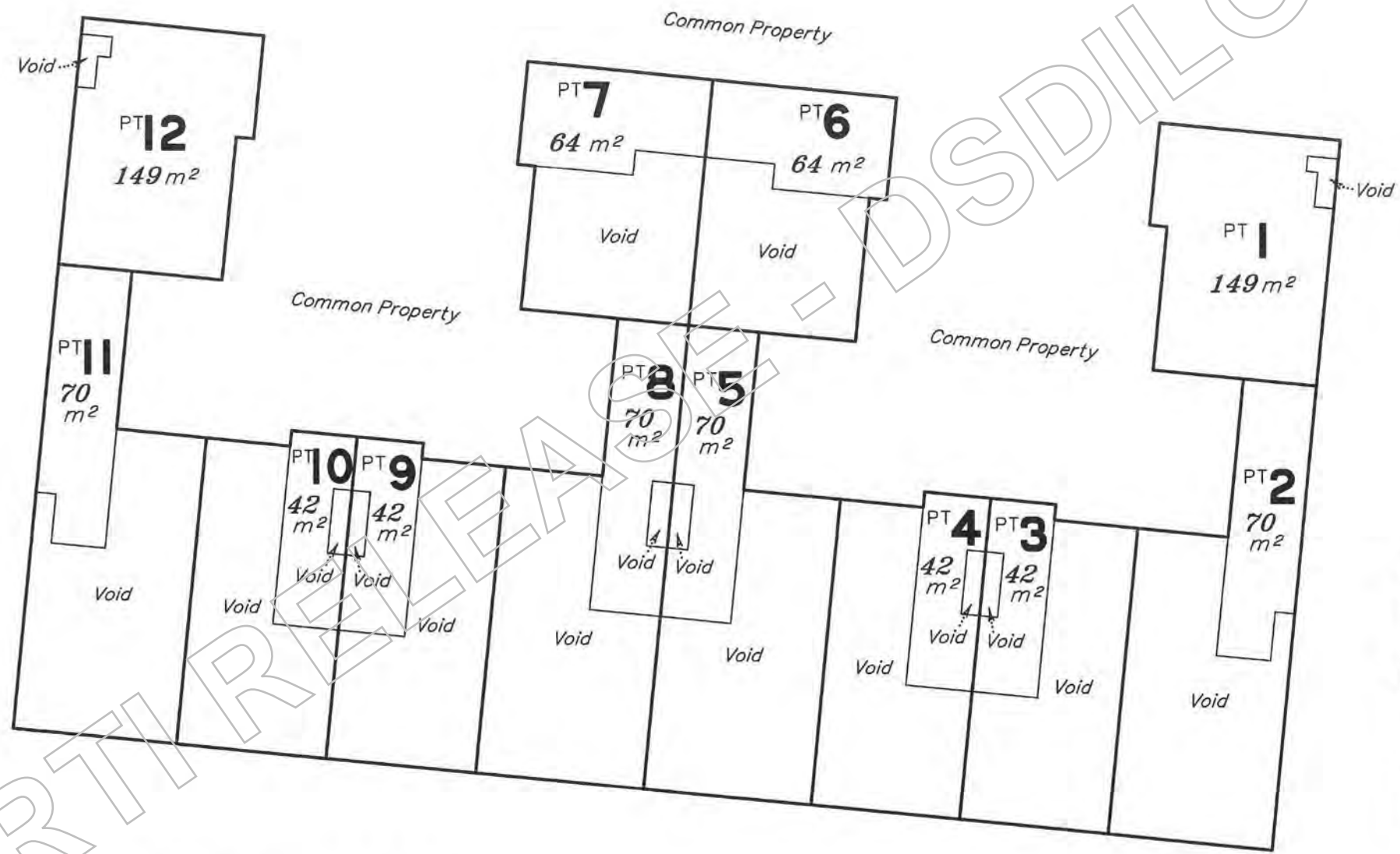
Insert
Plan
Number
SP302540

State copyright reserved.

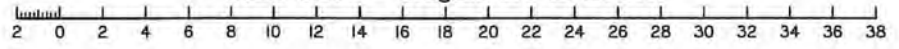
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50mm
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LEVEL B

Scale 1:250



Scale 1:250 - Lengths are in Metres.



Insert
Plan
Number
SP302540

State copyright reserved.

0
50 mm
100 mm
150 mm

THIS STATEMENT MUST BE LODGED TOGETHER WITH A FORM 14 GENERAL REQUEST AND IN THE CASE OF A NEW STATEMENT MUST BE LODGED WITHIN THREE (3) MONTHS OF THE DATE OF CONSENT BY THE BODY CORPORATE

This statement incorporates and must include the following:

- Schedule A - Schedule of Lot entitlements
- Schedule B - Explanation of development of schema land
- Schedule C - By-laws
- Schedule D - Any other details
- Schedule E - Allocation of exclusive use areas

Office use only

CMS LABEL NUMBER

1. **Name of community titles Scheme**
Onyx Business Park Community Titles Scheme

2. **Regulation module**
Commercial Module

3. **Name of Body Corporate**
Body Corporate for Onyx Business Park Community Titles Scheme

4. **Scheme land**
Lot on Plan Description
Common Property of Onyx Business Park
Community Titles Scheme
Lots 1 - 12 on SP302540


Title Reference
To issue
To issue

5. **#Name and address of original owner**
Devcon Capital 3 Pty Ltd ACN 624 842 066
C/- Archers BCM Pty Ltd
Level 1, 35 Dalton Drive, Maroochydore Qld 4558

6. **Reference to plan lodged with this statement**
SP302540

first community management statement only

7. **Local Government community management statement notation**

 Queensland
... signed

Marine Stone Director name and designation

Economic Development Queensland Sunshine Coast Regional Council name of Local Government

8. **Execution by original owner/Consent of Body Corporate**

Execution Date

*Execution

Devcon Capital 3 Pty Ltd ACN 624 842 066 – Sole Director
*Original owner to execute for a first community management statement
*Body corporate to execute for a new community management statement

Privacy Statement

Collection of this information is authorised by the Body Corporate and Community Management Act 1997 and is used to maintain the publicly searchable registers in the land registry. For more information about privacy in NR&W see the Department's website.

SCHEDULE A SCHEDULE OF LOT ENTITLEMENTS		
Lot on Plan	Contribution	Interest
Lot 1 on SP302540	142	118
Lot 2 on SP302540	187	83
Lot 3 on SP302540	168	67
Lot 4 on SP302540	168	67
Lot 5 on SP302540	188	83
Lot 6 on SP302540	143	83
Lot 7 on SP302540	143	83
Lot 8 on SP302540	188	83
Lot 9 on SP302540	168	67
Lot 10 on SP302540	168	67
Lot 11 on SP302540	187	83
Lot 12 on SP302540	142	116
TOTALS	1992	1000

PRINCIPLES FOR DECIDING THE CONTRIBUTION & INTEREST SCHEDULE LOT ENTITLEMENTS FOR A LOT

1. CSLE

- 1.1 The Contribution Schedule Lot Entitlements ("CSLE") for the Scheme are not equal and have been determined using the *Relativity Principle*.
- 1.2 As required by s46 of the Body Corporate and Community Management Act 1997, the CSLE have been allocated having regard to:
 - (1) the structure of the Scheme;
 - (2) the nature, feature and characteristics of the Lots in the Scheme; and
 - (3) the purpose for which the Lots are used.
- 1.3 On the basis of these factors it is just and equitable for there to be a variation in the CSLE for the Scheme. The difference in Lot entitlements recognise that the factors stated above do not impact on how much each Lot should contribute to certain Body Corporate costs such as administrative costs and outlays, but the structure of the Scheme and the features and characteristics of the Lots result in a differential burden on the costs of the Body Corporate for repair and maintenance of the Common Property.
- 1.4 Each of the above factors impacts on the allocation of Lot entitlements in the following ways:
 - (1) the Scheme is structured as a Basic Scheme. It is not structured using a layered arrangement therefore the structure of the Scheme does not impact on the allocation of CSLE.
 - (2) the Body Corporate is responsible for the maintenance and cleaning of Common Property within the Scheme as it is part of a Building Format Plan.
 - (3) facilities requiring repair will include external walls and windows, roof, utility infrastructure and utility services.
 - (4) facilities requiring cleaning will include Common Property, grounds, gardens and visitor car parks.
 - (5) in the allocation of the CSLE the following features or characteristics of Lots in the Scheme will increase the responsibility of that Lot to contribute to expenditure for the cleaning, repair and maintenance of the Common Property and for the management and caretaking of the Scheme in the following ways:

- (a) Gross Floor Area of the Lot – The larger the Lot the bigger demand it will have on the Common Property. Additional entitlements are added depending on the size of the Lot;
- (b) number of occupants of the Lot – Larger Lots that can accommodate for a higher number of occupants have the potential to place a greater burden on the Common Property and facilities. Lots that can accommodate more people will typically necessitate more cleaning, management and caretaking of Common Property and facilities; and
- (c) Each of the Lots in the Scheme are used for commercial purposes and consequently this factor does not contribute to any difference in the Lot entitlements.

2. ISLE

2.1 The Interest Schedule Lot Entitlements (“ISLE”) for the Scheme are not equal and have been determined using the *Market Value Principle* as required by Section 46 of the *Body Corporate and Community Management Act 1997*.

SCHEDULE B EXPLANATION OF THE DEVELOPMENT OF SCHEME LAND

There is to be no further development of the scheme land – Sections 66(1)(f) and 66(1)(g) of the *Body Corporate and Community Management Act 1997* do not apply.

SCHEDULE C BY-LAWS

1. DEFINITIONS AND INTERPRETATIONS

1.1 Definitions

In these By-laws, terms that are defined in Schedule B have the same meaning but to the extent of any inconsistency, the definitions in these By-Laws prevail. Otherwise:

- (1) “**Act**” means the *Body Corporate and Community Management Act 1997* as amended from time to time;
- (2) “**Body Corporate**” means the Body Corporate for the Scheme;
- (3) “**Body Corporate Asset**” means a Body Corporate asset of the Scheme;
- (4) “**Body Corporate Manager**” means the person engaged by the Body Corporate as the manager for the Scheme;
- (5) “**Building**” means the building of which the Scheme forms part;
- (6) “**Carparks**” means those carparks allocated by the Body Corporate as shown on the Plan;
- (7) “**Commercial Module**” means the *Body Corporate and Community Management (Commercial Module) Regulation 2008*;
- (8) “**Committee**” means the committee of the Body Corporate elected in accordance with the Act;
- (9) “**Common Property**” means the Common Property of the Scheme;
- (10) “**Costs**” means any costs, charges, expenses, outgoings, payments or other expenditure of any nature and, where appropriate, includes reasonable fees and disbursements payable to contractors, consultants, accountants and lawyers;
- (11) “**Development Approvals**” means any development approval or permit for the development of the Scheme;
- (12) “**Improvements**” means:
 - (a) any addition or alteration to the Common Property or any Body Corporate Asset; or

- (b) the installation of any fixtures, equipment, appliances or other apparatus on the Common Property;
- (13) **"Invitees"** means any tenant, visitor, licensee or agent of an Owner who may be on a Lot or the Common Property with or without invitation;
- (14) **"Lot"** means a Lot in the Scheme;
- (15) **"Occupier"** means Occupier as defined in Schedule 6 of the Act;
- (16) **"Original Owner"** carries the same definition as in the Act;
- (17) **"Owner"** means the registered owner of a Lot and includes where the context requires an Occupier of that Lot;
- (18) **"Requirement"** means any requirement, or authorisation, of any statutory body, local authority, governmental or other authority necessary or desirable under applicable law or regulation and includes the provisions of any statute, ordinance or by-law under the Act;
- (19) **"Scheme"** means Onyx Business Park Community Titles Scheme;
- (20) **"Services"** means all gas, electricity, telephone, water, sewerage, fire prevention, ventilation, air conditioning, hydraulic elevator and security services and all other services or systems provided in the Scheme or available for a Lot;
- (21) **"Service Infrastructure"** means any infrastructure for the provision of Services to the Scheme; and
- (22) **"Vehicle"** means any motor car, motor cycle truck, van, bus, articulated vehicle, caravan trailer, boat trailer including any boat and any other form of transport or vehicle designed for movement upon wheels.

1.2 Interpretations

- (1) Reference to:
 - (a) the singular includes the plural and the plural includes the singular;
 - (b) a person means a person bound by these By-laws and includes a Body Corporate, an unincorporated association or an authority; and
 - (c) a statute, regulation or provision of a statute or regulation ("Statutory Provision") includes:
 - (i) that Statutory Provision as amended or re-enacted from time to time; and
 - (ii) a statute, regulation or provision enacted in replacement of that Statutory Provision.
- (2) "Including" and similar expressions are not words of limitation.
- (3) Where a word or expression is given a particular meaning, other parts of speech and grammatical forms of that word or expression have a corresponding meaning.
- (4) Headings are for convenience only and do not form part of these By-laws or affect interpretation.
- (5) Unless the context requires otherwise, words that have a defined meaning in the Act have the same meaning in these By-laws.

2. OBSTRUCTION OF COMMON PROPERTY

An Owner must not obstruct lawful use of the Common Property by another person, and, without limitation, obstruct access to:

- (1) the Common Property or any Body Corporate Asset; or
- (2) any easement giving access to a Lot or the Common Property.

3. USE OF COMMON PROPERTY

An Owner must:

- (1) only use the Common Property or any Body Corporate Asset for the purpose for which it was designed or intended;

- (2) comply with all directions and rules of the Body Corporate relating to conduct on the Common Property or use of any Body Corporate Asset; and
- (3) observe all relevant Requirements in connection with the Common Property or Body Corporate Assets.

4. IMPROVEMENTS TO COMMON PROPERTY

- 4.1 An Owner must not make any Improvements without the prior written consent of the Body Corporate and must observe the applicable provisions of the Act and the regulation module for the Scheme in connection with the making of Improvements.
- 4.2 In giving its consent to any Improvement, the Body Corporate may:
 - (1) obtain advice from consultants; and
 - (2) recover the costs of obtaining advice from consultants from the person seeking the Body Corporate's consent.
- 4.3 Any Improvement made or sought to be made by an Owner:
 - (1) must be maintained and repaired by the Owner unless the Body Corporate agrees to the contrary by resolution in general meeting; and
 - (2) comply with all Requirements.
- 4.4 The Body Corporate may remove any unauthorised Improvement and recover the Costs of doing so from the person responsible for the Improvement.

5. VEHICLES

- 5.1 The Owner of a Lot must not, without the Body Corporate's written approval:
 - (1) park a vehicle, or allow a vehicle to stand, on the Common Property (except for those areas designated for the exclusive use of each Lot for carparking identified in Schedule E); or
 - (2) permit an invitee to park a vehicle, or allow a vehicle to stand, on the Common Property;
- 5.2 An approval under this by-law 5 must state the period for which it is given. However, the Body Corporate may cancel the approval by giving 7 days written notice to the Occupier.
- 5.3 Areas of the Common Property shall be designated by the Body Corporate for use by visitors. Designated visitor car parking areas must remain available at all times for the sole use of visitors' vehicles.

6. ROADS AND OTHER COMMON PROPERTY

An Owner must not:

- (1) permit any Invitees' vehicles to be parked on the roadway forming part of the Common Property at any time; or
- (2) permit any boat, trailer, caravan, campervan or mobile home on the Common Property or on or in any car parking space.

7. GARBAGE DISPOSAL

An Owner must:

- (1) If no receptacle is provided by the Body Corporate, maintain a receptacle for garbage in a clean and dry condition and adequately covered within the Owners Lot, or on the part of the Common Property set aside for garbage receptacles;
- (2) Comply with all Requirements relating to the disposal of garbage including any requirement of the Body Corporate and arrange for a regular removal of garbage from the Lot;
- (3) Ensure that the health, hygiene and comfort of other persons is not adversely affected by the disposal of the Owners garbage;

- (4) Use any garbage receptacle provided by the Body Corporate and comply with all directions of the Body Corporate in relation to the disposal and any recycling program implement by the Local Authority; and
- (5) Ensure that all empty bottles, boxes, used containers and similar items are stored so that they are not visible from another Lot or Common Property.

8. SIGNAGE

- 8.1 An Owner must not erect or display any sign, advertisement, placard or like matter ("the Sign") on any part of the Common Property or the Owner's Lot without the prior written consent of the Body Corporate.
- 8.2 The Body Corporate may remove a sign to which it has not consented at the expense of the Owner.
- 8.3 An Owner must return the Common Property or that part of the Owner's Lot to its original condition when a sign is removed.

9. BICYCLES

An Owner must not, without the Body Corporate's written approval ride a bicycle, skateboard, or rollerblades, on the Common Property.

10. USE OF LOTS

10.1 An Owner must:

- (1) observe all Requirements in connection with the use of the Owner's Lot;
- (2) maintain the Owner's Lot in good order and condition;
- (3) ensure that all doors, windows and entryways into its Lot are securely fastened and locked on all occasions when the Lot is left unoccupied;
- (4) not use or store any flammable liquids or materials in a Lot or on Common Property other than of a type used for domestic purposes or which is consistent with the permitted use of the relevant Lot;
- (5) give prompt notice to the Body Corporate of any damage to, defect or disrepair of, the Services or Service Infrastructure;
- (6) not overload any Services or Service Infrastructure;
- (7) pay to the Body Corporate any costs incurred by the Body Corporate in upgrading any Services or Service Infrastructure to accommodate any equipment which an Owner wishes to install in a Lot;
- (8) not carry on or permit any noxious or offensive act, trade, business or occupation or calling from a Lot;
- (9) not cause disturbance to other persons lawfully using any Lot or Common Property; and
- (10) subject to the Act, not keep any animal on a Lot or the Common Property without the Body Corporate's consent.

10.2 If any Owner or occupier conducts any activity in a Lot which directly causes an increase in insurance premiums payable by the Body Corporate such additional premiums will be payable by the Owner of the Lot promptly upon demand.

10.3 If any Owner conducts any activity in a Lot which causes water consumption charges in excess of the usual or average use, then such water consumption charges are payable by the Owner of the Lot.

11. RIGHT OF ENTRY

11.1 The Body Corporate may enter a Lot with workmen and other authorised persons and necessary materials and appliances to:

- (1) comply with any Requirement involving the destruction of noxious animals, rodents or other pests; and
- (2) carry out any repairs, alterations, renovations, extensions or works in relation to any Services or Service infrastructure.

- 11.2 In case of emergency no notice will be required under By-law 11.1.
- 11.3 Anything undertaken by the Body Corporate under this By-law will be paid for by the Owner of the relevant Lot where the need for the Body Corporate to do that thing is due to any act or default of the Owner.
- 11.4 In exercising its rights under this By-law the Body Corporate must ensure that it causes as little inconvenience to the Owner as is reasonable in the circumstances.

12. BODY CORPORATE RIGHTS

Subject to the provisions of the Act and the regulation module for the Scheme, the Body Corporate may take steps to ensure the security of the Lots and Common Property and the observance of these By-laws by any Owner, including, without limitation:

- (1) restricting access to any part of the Common Property whether on a temporary or permanent basis including areas used for the location of Services and Service Infrastructure;
- (2) determining rules under which persons are given access to any part of the Common Property;
- (3) allowing a designated part of the Common Property to be used by any security person firm or company;
- (4) obtaining, installing and maintaining locks, alarms, communications systems and other security devices.

13. SECURITY SYSTEM

- 13.1 The Body Corporate may establish a security system and provide security services for the benefit of Owners.
- 13.2 Any security equipment installed on the Common Property pursuant to by-law 13.1 will remain the property of the Body Corporate and be maintained and repaired at the cost and expense of the Body Corporate.
- 13.3 The Body Corporate may designate part of the Common Property to be used by any security person, firm or company.
- 13.4 The Body Corporate may arrange for the installation of any Service Infrastructure necessary for the operation of a security system for the benefit of Owners.
- 13.5 The Body Corporate is not liable for any loss or damage suffered to any Owner or other person or property because:
 - (1) the security system fails or there is unauthorised entry to any part of the Common Property or a Lot;
 - (2) the security system is not at any particular time operational.
- 13.6 Each Owner must allow the Body Corporate on the giving of reasonable notice (except in the case of emergency), to enter onto a Lot to attend to the repair and maintenance of any Service Infrastructure used in connection with the provision of a security system and security services.
- 13.7 Each Owner must observe all conditions and requirements of the Body Corporate for the use and operation of the security system or security services provided by the Body Corporate.
- 13.8 The Body Corporate, may, in its absolute discretion, make rules regarding:
 - (1) the control of security cards or keys;
 - (2) the distribution of security cards or keys;
 - (3) deposits held as security for the care of security cards or keys;
 - (4) the right to recall security cards or keys; and
 - (5) the right to make security cards or keys inoperable.

14. SUPPLY OF SERVICES

- 14.1 If permitted by relevant legislation governing the supply of Services, the Body Corporate may:
 - (1) establish and maintain a system for the supply of Services ("System") for the Scheme; and
 - (2) as an on-supplier:

- (a) purchase the Services from a primary supplier; and
- (b) on-supply the Services to Owners (collectively called "Receivers").

14.2 The Body Corporate may enter into agreements, contracts, licences, leases or other arrangements of any nature in connection with:

- (1) the supply of Services to the Body Corporate by primary supplier;
- (2) the on-supply of the Services to Receivers;
- (3) Service Infrastructure used in connection with the System;

including, without limitation, agreements contemplated by the Commercial Module setting out the basis on which charges are made for supply of the Services and the recovery of the costs to the Body Corporate of supplying that service.

14.3 The Body Corporate must calculate charges for the supply of Services to Receivers only as permitted under the relevant legislation governing on-supply by the Body Corporate or, if there is no applicable legislative provision, levy charges only to the extent required to ensure that the Body Corporate complies with its obligations to recover the costs of supplying the Service to Receivers.

14.4 If the Body Corporate charges Receivers a rate for the supply of the Service which is higher than the rate at which the Body Corporate purchases the Service from the supplier, any surplus funds generated in the hands of the Body Corporate as a result must be applied by the Body Corporate to its administrative fund in reduction of liabilities of the Body Corporate and, in this way, for the benefit of Owners.

14.5 If the Body Corporate operates and maintains a System under this by-law, it may:

- (1) enter into agreements with Receivers for the supply of Services through the System, setting out the terms on which the Body Corporate will charge for the provision of the Services under the System and recover the costs of providing that service (as required by the Act and regulation module for the Scheme) including charges for:
 - (a) supply;
 - (b) installation and connection to the System;
 - (c) servicing and maintenance of the System to the extent it is utilised in the provision of the service to a particular Receiver;
 - (d) disconnection and reconnection fees; and
 - (e) advance payments or security deposits to be provided in connection with the supply through the System.
- (2) establish the basis of charges for those Receivers which are not supplied by separate meter (if any) and for common areas for the Scheme based on an estimate of consumption taking into account the number and type of fittings, points, installations, plant and equipment, and appliances and the use to which those are put by the relevant Receivers or the Body Corporate.
- (3) establish a system of accounts and invoices in connection with the supply of Services through the System and render those accounts to Receivers as appropriate.
- (4) recover any amounts when due and payable from any Receiver under applicable accounts rendered and if an account is unpaid by the due date:
 - (a) recover any unpaid amount as a liquidated debt;
 - (b) recover interest on any unpaid account;
 - (c) disconnect the supply of the Service to the relevant Receiver;

- (d) charge a reconnection fee to restore the supply of the Service to that Receiver; and
- (e) increase the advance payment or security deposit for supply to the relevant Receiver.

- 14.6 The Body Corporate is not liable for any loss or damage suffered by any Receiver as a result of any failure of the supply due to breakdowns, repairs, maintenance, strikes, accidents or any other causes affecting the System.
- 14.7 The Body Corporate is not required to supply any Receiver with any Service to any greater extent than the authority from which the Body Corporate obtains supply could provide at any given time.
- 14.8 Each Owner must:
- (1) allow the Body Corporate and its agents, contractors, or employees access to any Service Infrastructure used in connection with the System;
 - (2) comply with all requirements of the Body Corporate imposed in connection with supply of Services through the System; and
 - (3) maintain any Service Infrastructure used in connection with the System and which is located in or on a Lot or a Lot in a Subsidiary Scheme and which is used in connection with supply of Services under the System.
- 14.9 Nothing in this By-law obliges a Receiver to purchase any Service from the Body Corporate or limits or restricts the rights of any Receiver to utilise Service Infrastructure under any implied easement or other right contained in the Act or other applicable legislation.

15. SERVICES INFRASTRUCTURE

The Service Infrastructure must not be used for any purpose other than that for which they were constructed and no sweepings or rubbish or other unsuitable substance shall be deposited therein. Any damage or blockage resulting to any Service Infrastructure from misuse or negligence shall be borne by the Owner whether the same is caused by the Owner or those of his Occupiers, servants, agents, licensees or Invitees.

16. INVITEES

- 16.1 An Owner must take all reasonable steps to ensure that Invitees do not obstruct any other persons' use of the Common Property or a Lot.
- 16.2 An Owner must compensate the Body Corporate for all damage to the Common Property caused by Invitees.
- 16.3 An Owner must take all reasonable steps to ensure that Invitees comply with these By-laws.

17. DEFECTS

- 17.1 The Body Corporate may, make repairs or renovations as it deems necessary for the safety and preservation of the Common Property, Body Corporate Assets, Services and Service Infrastructure.
- 17.2 The Owner must give the Body Corporate prompt notice of any accident to or defect in the utility infrastructure on the Common Property which comes to his knowledge and the Body Corporate has authority by its agents or servants in the circumstances having regard to the urgency involved to examine or make such repairs or renovations as it may deem necessary for the safety and preservation of the Scheme as often as may be necessary.

18. REQUEST TO SECRETARY

An Owner must direct all requests for consideration of any matter by the Body Corporate or the Committee to the secretary or Body Corporate Manager.

19. NOTICES

Owners must comply with all notices displayed on the Common Property by the Body Corporate or any statutory authority.

20. COPY OF BY-LAWS

An Owner must provide any tenant or other Occupier of its Lot with a copy of these By-laws.

21. POWER OF COMMITTEE

The Committee may make rules (in addition to those specifically provided for elsewhere in these By-laws) relating to the Common Property or Body Corporate Asset which are not inconsistent with these By-laws or any Requirement and those rules are binding on the Owners.

22. RECOVERY OF COSTS

If requested by the Body Corporate, an Owner must pay to the Body Corporate as a liquidated debt immediately due and owing the Body Corporate's Costs of:

- (1) recovering levies or other monies payable by that Owner to the Body Corporate;
- (2) undertaking an obligation of that Owner under the Act, the Commercial Module or these By-laws; or
- (3) remedying a breach by that Owner of the Act, the Commercial Module or these By-laws.

23. INTEREST

The Body Corporate may charge and recover interest at an annual rate determined by the Body Corporate by ordinary resolution in general meeting on any unpaid levies or other moneys payable by an Owner to the Body Corporate.

24. SALE OF LOTS

24.1 The Original Owner, its agents and any person authorised by it may:

- (1) use any Lot it owns as a display Lot and sales Lot; and
- (2) despite By-law 8.1, place any signs and other advertising and display material in and about that Lot and the Common Property.

24.2 Owners shall not permit any auction sale of Lots to be conducted or to take place upon any part of the Common Property.

25. EXCLUSIVE USE AREAS

25.1 The Owner or Occupier of each Lot identified and allocated in Schedule "E" has the exclusive use and enjoyment of the area identified in Schedule "E" as indicated on the annexed sketch plans and;

25.2 An exclusive use area may only be used for the purpose specified in Schedule "E".

25.3 An Owner or Occupier who has the exclusive use of a carparking space under this By-law:

- (1) may only use the car space for parking a motor vehicle which is in road worthy condition;
 - (2) must not litter or deposit rubbish on the carparking space;
 - (3) must not store any hazardous substance on the carparking space;
 - (4) must not use the carparking space in a way that may create a nuisance to any other person on the Scheme;
 - (5) may not use the carparking space for the parking of caravans, campervans, motorhomes, boats or trailers;
- and
- (6) must not carry out any Works in the carparking space without complying with by-law 4.

25.4 Each Owner will be responsible at its own cost for maintaining the exclusive use carparking space and keeping it in a clean and tidy condition. The Body Corporate will be responsible for the provision of lighting to the exclusive use carparking space and the Owner or Occupier must allow the Body Corporate reasonable access for that purpose and to Service Infrastructure located in the car space.

26. DEVELOPMENT APPROVALS

26.1 The Body Corporate, Owners, Occupiers and Invitees must comply with the conditions of Development Approvals.

SCHEDULE D OTHER DETAILS REQUIRED/PERMITTED TO BE INCLUDED

1. SERVICES LOCATION DIAGRAM

The Services Location Diagram is attached and marked Annexure "A".

2. STATUTORY EASEMENTS

- 2.1 Statutory easements are easements granted under the Act or the LTA for Support, Utility Services and Utility Infrastructure, shelter, projections or maintenance of buildings close to boundaries.
- 2.2 Some or all of the Lots in the Scheme may be affected by statutory easements.
- 2.3 Lots in the Scheme affected by statutory easements are as follows:

Lot Description	Statutory Easement
Lots 1 to 12 on SP302540 Common Property of Onyx Business Park Community Titles Scheme	Support Utility Services and Infrastructure Shelter Projections Maintenance of Buildings close to boundaries

SCHEDULE E DESCRIPTION OF LOTS ALLOCATED EXCLUSIVE USE AREAS OF COMMON PROPERTY

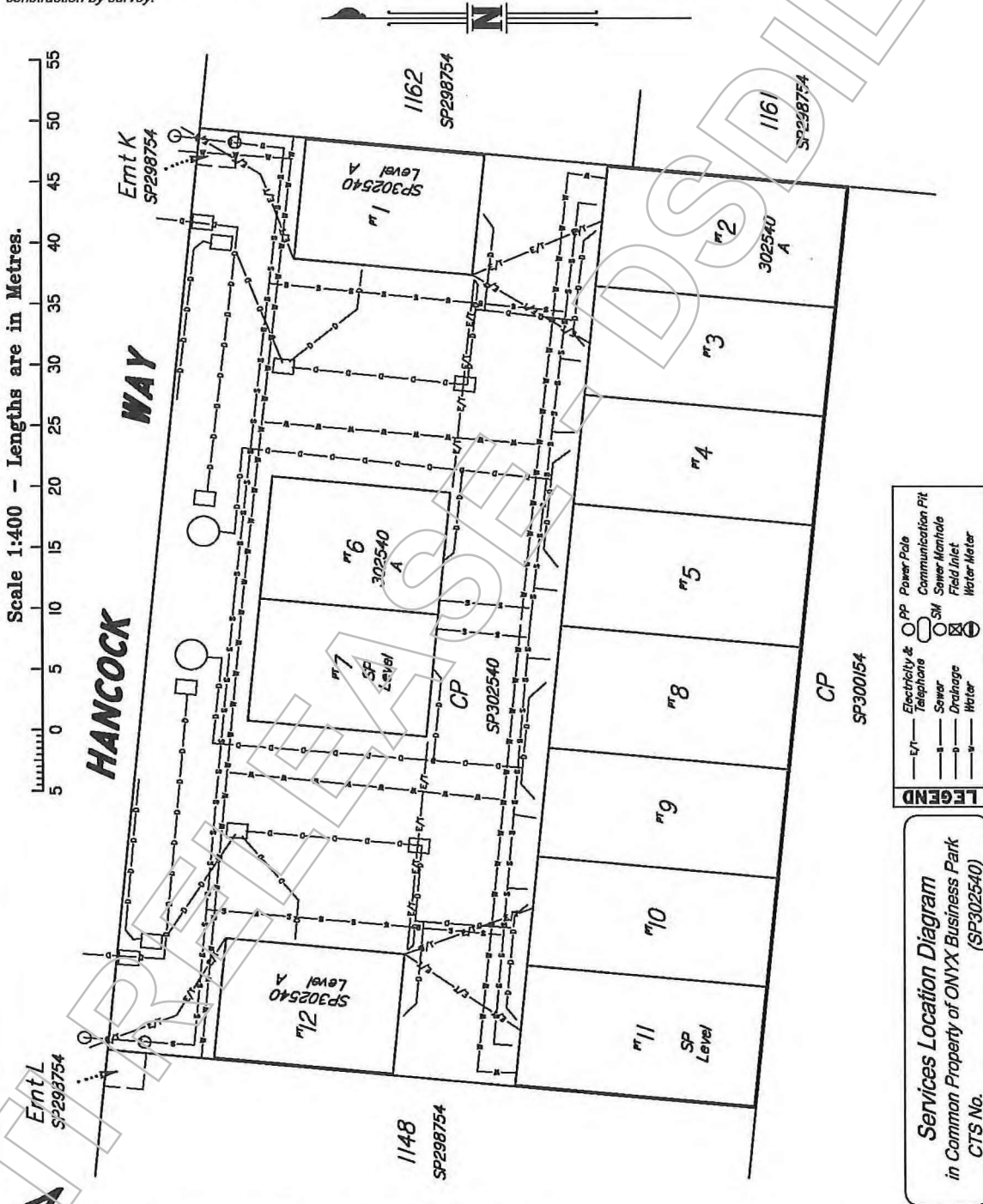
Lot on Plan	Area	Purpose
Lot 1 on SP302540	Areas "A", "B" and "D" on annexed sketch plan marked "B"	Carparking
Lot 2 on SP302540	Area "J" on annexed sketch plan marked "B"	Carparking
Lot 3 on SP302540	Area "I" on annexed sketch plan marked "B"	Carparking
Lot 4 on SP302540	Area "Q" on annexed sketch plan marked "B"	Carparking
Lot 5 on SP302540	Area "R" on annexed sketch plan marked "B"	Carparking
Lot 6 on SP302540	Areas "K" and "L" on annexed sketch plan marked "B"	Carparking
Lot 7 on SP302540	Areas "X" and "Y" on annexed sketch plan marked "B"	Carparking
Lot 8 on SP302540	Area "S" on annexed sketch plan marked "B"	Carparking
Lot 9 on SP302540	Area "T" on annexed sketch plan marked "B"	Carparking
Lot 10 on SP302540	Area "AA" on annexed sketch plan marked "B"	Carparking
Lot 11 on SP302540	Area "Z" on annexed sketch plan marked "B"	Carparking
Lot 12 on SP302540	Areas "AG", "AH" and "AI" on annexed sketch plan marked "B"	Carparking

ANNEXURE "A" – SERVICES LOCATION DIAGRAM

Page of

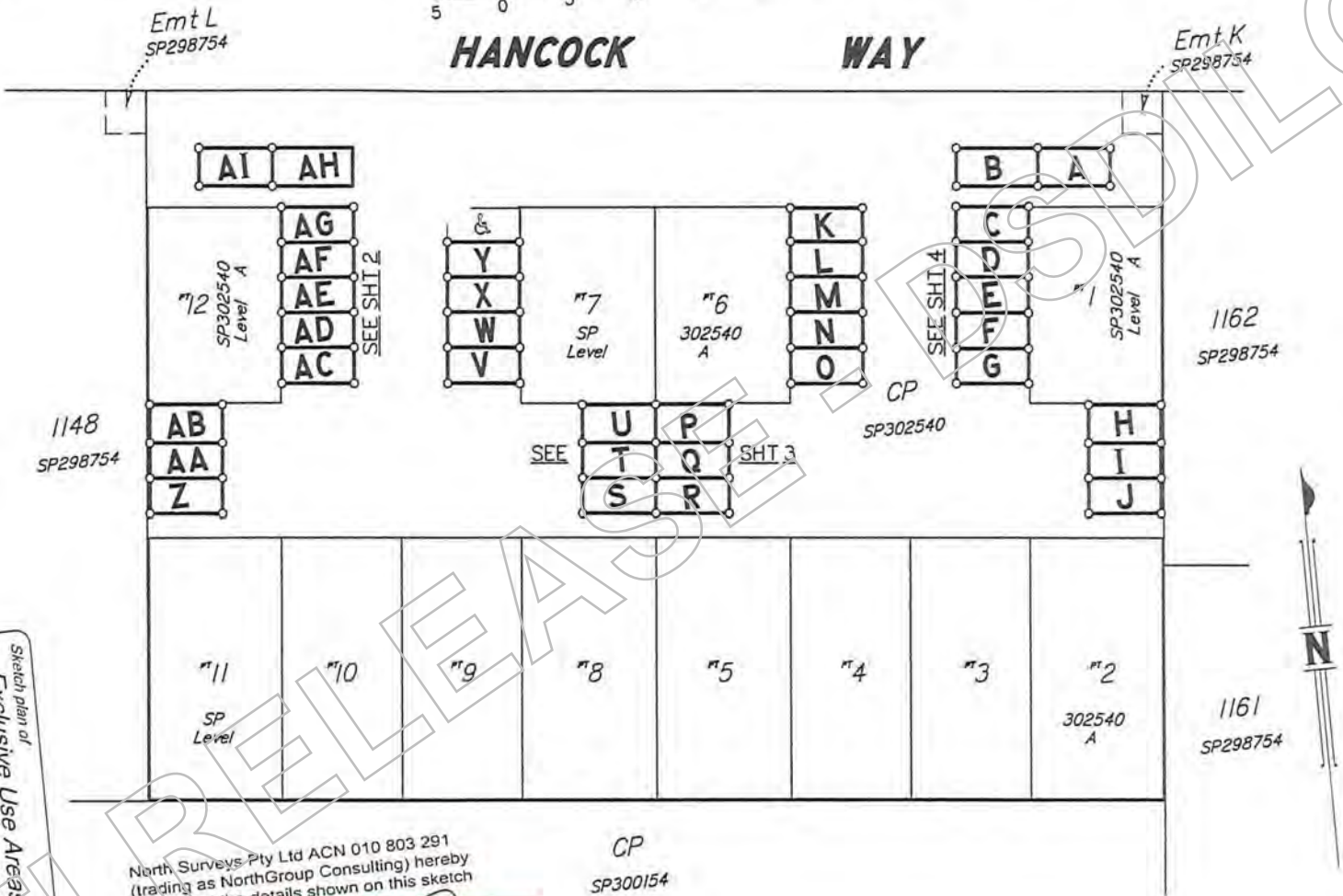
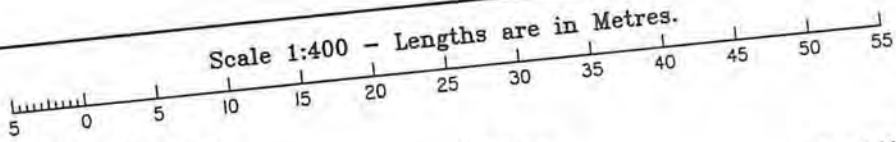
Important Note

This services location diagram discloses the existence of service easements for the purposes of s.66(1)(d) of BCCM, and should not be relied upon to excavate, design or construct near services, or for any other reason other than the intended purpose. Exact locations and depths of services on site should be obtained from suitably qualified persons prior to undertaking any works. Services on this plan may be plotted from sources such as engineering design information, and may not be verified after construction by survey.



Services Location Diagram
 in Common Property of ONYX Business Park
 CTS No. (SP302540)

Sketch plan of
Exclusive Use Areas A-Z & AA-AI
 in Common Property of ONYX Business Park
 (SP302540)
 CTS No.



North Surveys Pty Ltd ACN 010 803 291
 (trading as NorthGroup Consulting) hereby
 certify that the details shown on this sketch
 plan are correct.

Rev: 001 - Disclosing personal information

Director
 Date 20/11/2019

ANNEXURE B - EXCLUSIVE USE PLAN

HANCOCK WAY

Emt L
SP298754

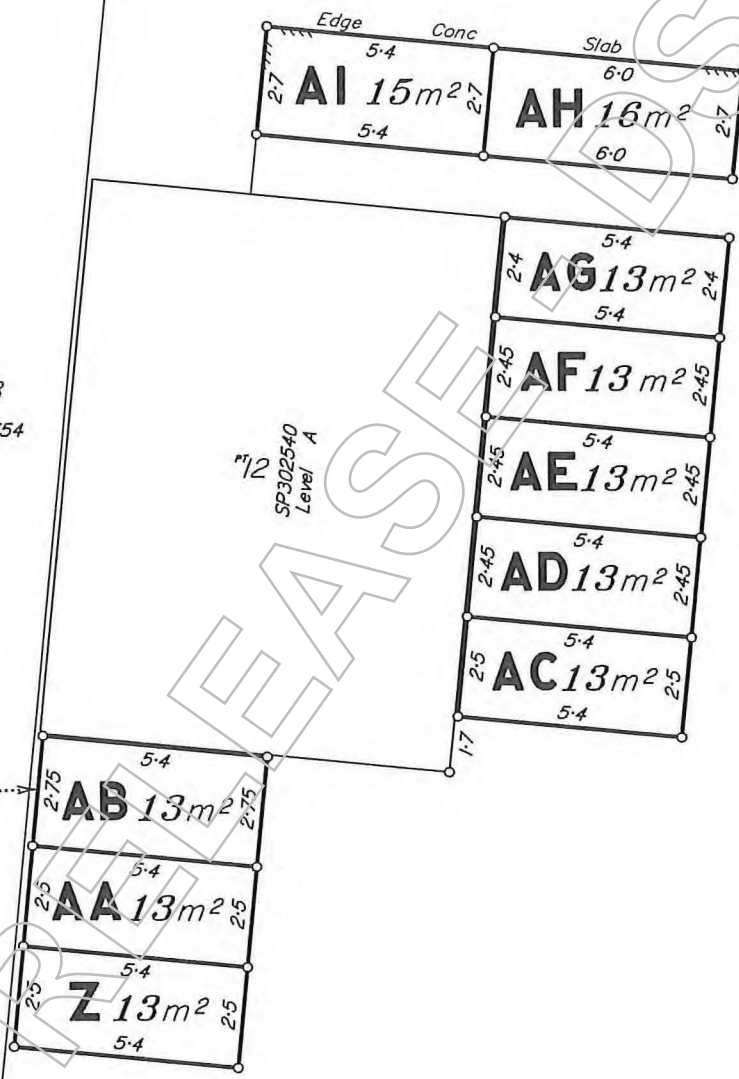
1148
SP298754

n^o 12
SP302540
Level A

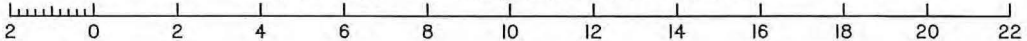


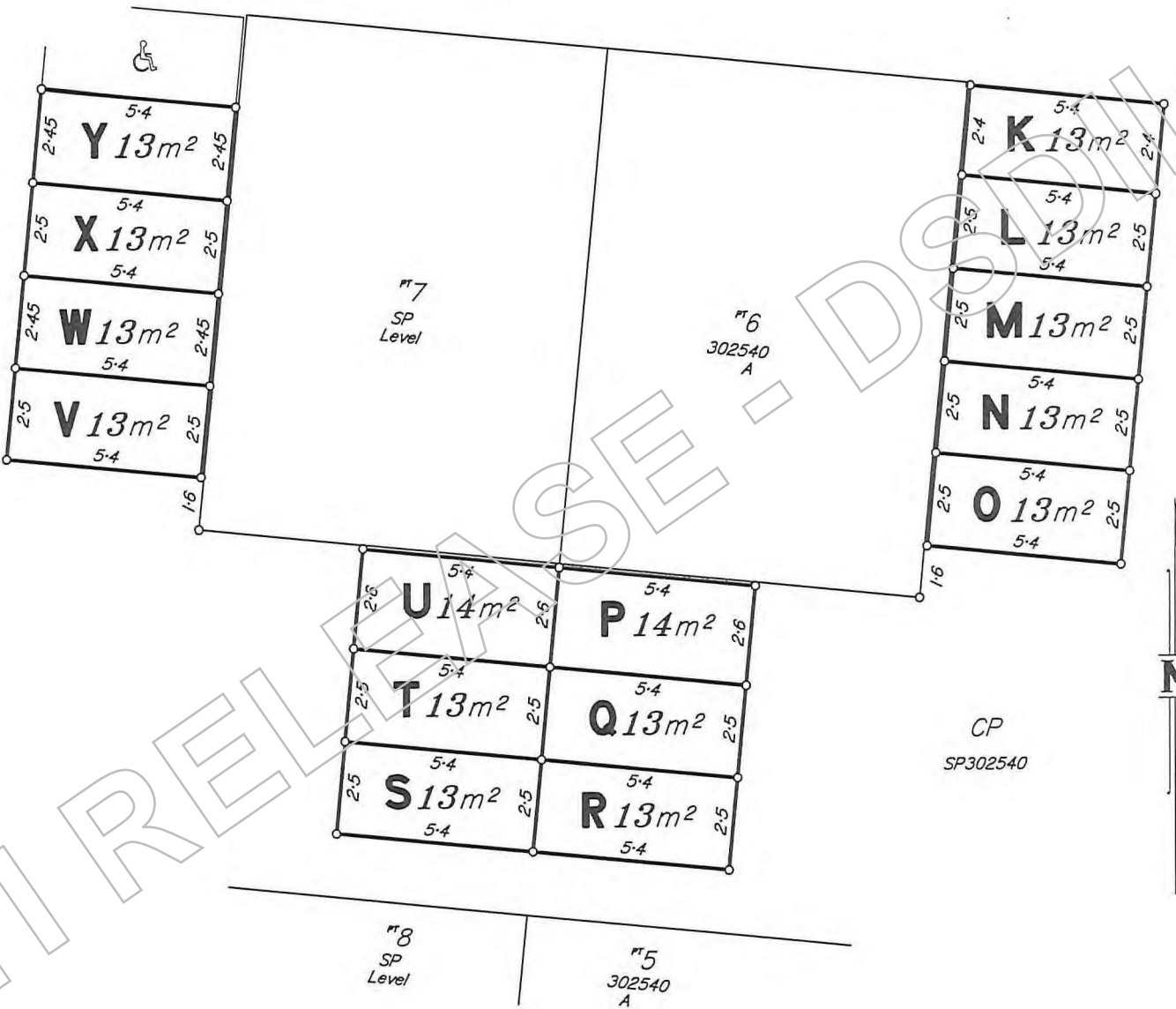
CP
SP302540

Face of Wall



Scale 1:150 - Lengths are in Metres.





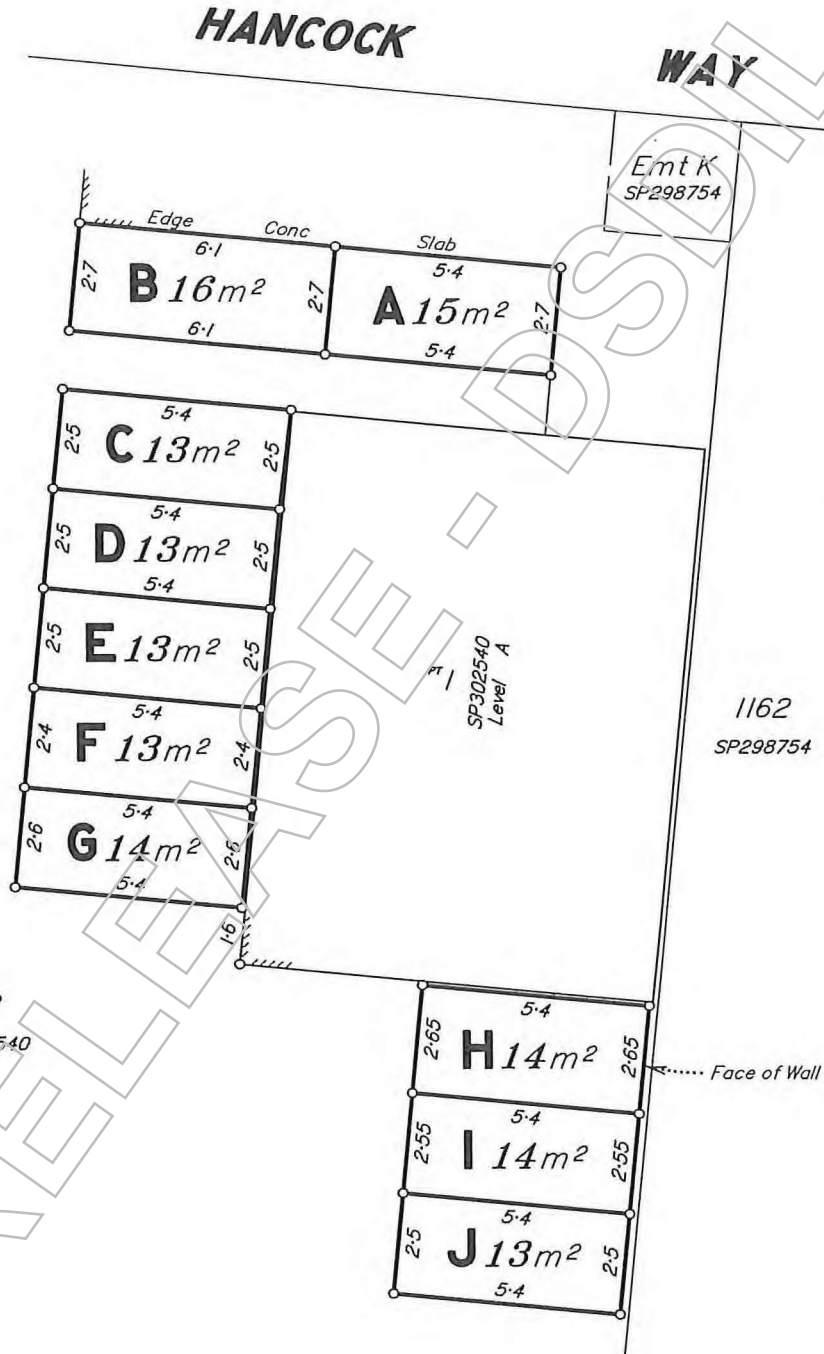
Scale 1:150 – Lengths are in Metres.

0 2 4 6 8 10 12 14 16 18 20 22

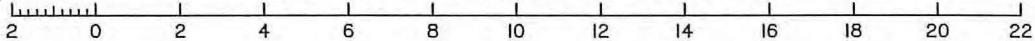
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Sheet 3 of 4
Dwg: 2022337#002 Rev: 0

Scale: 1:150



Scale 1:150 - Lengths are in Metres.



Andrew McKnight

From: Jeanine Stone
Sent: Monday, 28 March 2022 3:32 PM
To: [REDACTED] Jennifer Davison; Andrew McKnight
Cc: [REDACTED] Kate Evans
Subject: RE: Aura Business Park non compliant uses

Follow Up Flag: Follow up
Flag Status: Completed

Hi Matt

Thanks for your email.

A change is currently in with EDQ at present for Precincts 3-5 – as part of this Andrew is looking for a change to the POD to make all uses that are supported as Compliance Assessment. This is only for areas that have not been created / plan sealed – so we have clear direction on where this applies and not impact owners who have current expectations. So point 3 and 4 below are currently being considered.

Point 6 - EDQ is proposing to issue letters tomorrow - we can provide you with a copy once issued. EDQ has had discussions internally and is considering giving tenants 6 months to address. End of the year was not considered suitable as a blanket response.

Regarding point 7 – we can have a look at our approvals (plus approved plans as you have mentioned) and see if this needs further attention.

Thanks

Jeanine

From: [REDACTED]@stockland.com.au
Sent: Monday, 28 March 2022 1:00 PM
To: Jeanine Stone <Jeanine.Stone@dildilgp.qld.gov.au>; Jennifer Davison <Jennifer.Davison@dildilgp.qld.gov.au>; Andrew McKnight <Andrew.McKnight@dildilgp.qld.gov.au>
Cc: [REDACTED]@stockland.com.au; [REDACTED]@stockland.com.au; [REDACTED]@evolveplanning.net.au
Subject: Aura Business Park non compliant uses

Hi Jeanine and team,

Further to our recent discussion on the non-compliant uses in the Business Park, we have discussed with developers and agents and make the following suggestions as a potential way forward.

- RPS**
1. Add new clause in the Covenant Approval correspondence to make the land uses authorized by the approval explicitly clear. Also include definition of the approved land use(s) that the Applicant's must adhere to at all times and re-iterate that all future land uses as requiring compliance assessment by EDQ. Could also include a note on the plans to this effect as well;

Stockland

2. Organise briefing session for **late April/early May** (after school & Public holidays are over) with EDQ, Local Sales and Leasing Agents, Developers in the Business Village (including those who have already purchased) and building Designers/Architects in the Business Village (Nick has the list of contacts)
3. Amend the PoD to remove the Self Assessable Industrial approvals and push everything back to Compliance Assessment – up for discussion.
4. Consider including a parking rate for Indoor Sport & Recreation in the PoD – up for discussion.
5. Prepare a fact sheet to be included in the Contract of Sale and issued to all agents explaining the approval / compliant process including uses.

EDQ

6. Issue the Show Cause Notices to the 10 businesses, but enable a decent length of time for resolution (31st Dec 2022?). Can Stockland see the drafts of these letters first so we can understand what they actually say?
7. For future Business Park Compliance Approvals, include a red stamp on the approved plans confirming the land uses that are approved and not approved.

Happy to discuss further and work alongside EDQ to resolve this matter.

Regards,

[REDACTED]
Senior Economic Development Manager

Sunshine Coast - Residential Development QLD
Stockland, Level 1/1 Edwards Terrace, BARINGA Q 4575

T [REDACTED] Sch. 4(4)(6) - Disclosing personal information
E [REDACTED]@stockland.com.au

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