

Our ref: M2033
Council ref: CAR22/0477
QA: sj.ap.gm

27 January 2023

Assessment Manager
Townsville City Council
PO Box 1268
TOWNSVILLE QLD 4810
Via: TOLS

Attention: Melanie Percival – Planning and Development

Dear Melanie,

**Re: Change an Early Referral Entity Response (CAR22/0477)
Proposed High Impact Industry (Mobile/ Fixed Concrete Batching Plant and
Precast Shed) on land described as Lot 20 SP338023 (formerly Lot 700 on
SP331994) and located at 43 Penelope Road, Stuart**

We refer to the abovementioned Early Referral Agency Response Request approved by Townsville City Council (Council) on 14 December 2022, which outlines the conditions that Council would like to see imposed on any State Development Approval issued, refer **Attachment 1**.

Since the lodging the Early Referral Entity Response (ERER), the Applicant seeks the flexibility of having the ability to replace the mobile plant to a fixed plant in the future. It is noted that the plans submitted as part of the ERER do show the fixed concrete batching plant and the fixed concrete batching plant will not increase the threshold levels as nominated in Condition 2 – Production Thresholds. In view of this it is requested that the description of the proposal be changed to Material Change of Use for High Impact Industry (Mobile Concrete Batching Plant, Fixed Concrete Batching Plant and Precast Shed).

Upon review of the ERER response there are several conditions that the Applicant seeks to change or delete to avoid impacting on the viability and efficiency of the proposed development. **Table 1** overleaf outlines the conditions the Applicant seeks to be changed or deleted, along with suggested changed wording.



Table 1 – Council Information Request

Condition	Reason for Amendments or Deletion	Suggested Wording
Condition 1 Accepted Plans	This condition needs to be updated to reflect the plan references of the amended plans, refer Attachment 2 .	The table will need to reference the latest plans.
Condition 3 Storage	<p>This condition requires all goods, equipment, packaging material or machinery to be stored within a building, so as not be visible from any public road or thoroughfare.</p> <p>In the context of the proposed development and operations associated with the use, the requirements of this condition are not practical or feasible, as external storage will need to occur over the subject site.</p> <p>Within a Medium Impact Industry Precinct, one would expect end users, given the size of the lots and proposed operations, need the flexibility to be able to store goods and equipment outside of any buildings. Given the industrial setting and environment of the subject site, it is not considered that items stored externally will detract from the visual aesthetics of the streetscape or impact on the amenity of adjacent properties.</p>	It is requested that Condition 3 be deleted.
Condition 12 Car parking	<p>It is not feasible to seal all the external areas associated with Lot 20, nor is it necessary to do so to avoid material tracking onto the road.</p> <p>A 10 m long concrete apron will be provided at all exit points to enable fines to drop off vehicle tyres before exiting the subject site.</p> <p>The Batching Office/ Control Room car park will be sealed.</p>	Delete the wording under the advice part of Condition 12 and reference the amended plans showing the concrete aprons in Condition 1.
Condition 13 Landscaping	<p>The Applicant is accepting of planting street trees in accordance with the planning scheme.</p> <p>The plans have been amended to address 13 b) and 13 d), refer Attachment 2.</p> <p>The planting of shade trees in the bio basin areas and or the swales, is not practical from a functionality and maintenance perspective. Further, it is unlikely the swales will be visible for the street and as such, it is considered there is justification to delete 13 c).</p>	Delete a) to d) of Condition 13.
Condition 18 Noise Impact Assessment	The subject site is zoned within the Medium Impact Industry Precinct, where it is anticipated that uses will include noise generating operations and activities. Further, the subject site is located within Cleveland Bay Industrial Park, which is located within the Townsville State Development Area. The requirement to provide a noise impact assessment is onerous in	Condition 18 be deleted as it is not considered warranted, given the underlying zoning and State Development Area designation of the subject site.



Table 1 – Council Information Request

Condition	Reason for Amendments or Deletion	Suggested Wording
	<p>the context of the underlying zoning and the State Development Area designation.</p> <p>Whilst considering the location of the Townsville State Development Area, consideration would have been given to the impact of any future industrial end uses on the nearest sensitive receptors, which are the caravan park and low density residential zoned land, which includes single dwellings on single lots. There are several background noise sources impacting these existing sensitive receptors, which includes the Bruce Highway and the existing operational rail corridor.</p> <p>The Applicant has advised that the operations and activities associated with the proposed development will not generate excessive noise levels. The Applicant has a duty of care under the <i>Environmental Protection Act 1994</i> and <i>Environmental Protection (Noise) Policy 2019</i> to control background creep and noise levels, as noted under the 'Reason' section of the condition.</p> <p>Further it is noted:</p> <ol style="list-style-type: none"> 1.) Cleveland Bay Industrial Park worked with the Office of the Coordinator General and Council in 2021/ 2022 to develop a standard 'suite' of approval conditions for end use applications. These conditions do not include conditions relating to noise. 2.) Other industrial uses of this nature have been approved without noise conditions (AP2019/006) that is closer to sensitive receptors. 3.) A Noise Assessment has been undertaken for AP2019/006 adjacent to the caravan park (the closest sensitive receptor) that identified nil noise impact, partly due to the elevated noise levels in this area, refer Attachment 3. 	
<p>Condition 19 Noise Management</p>	<p>As per Condition 18, the requirement to provide a noise management plan is onerous and not warranted in the context of the underlying zoning, State Development Area designation and proximity of the subject site to sensitive receptors.</p>	<p>Delete Condition 19.</p>
<p>Advice Note Mechanical Noise</p>	<p>Council have accepted that the proposed development/ use will operate 24 hours seven days a week. With this in mind, the Mechanical Noise Advice Note appears to conflict with 24 hour operations, as it nominates restrictions</p>	<p>Delete the Mechanical Noise Advice Note.</p>



Table 1 – Council Information Request

Condition	Reason for Amendments or Deletion	Suggested Wording
	around maximum mechanical noise levels over a 24 hour period. This conflict justifies the deletion of this Advice Note.	

Fee

Council’s Schedule of Fees and Charges does not nominate an assessment fee for a request Change an Early Referral Entity Response.

Proceeding

Given the nature of the requested changes to CAR22/0477, it is considered that Council can support the requested changes to Conditions 1, 3, 12, 13, 18, 19 and the Mechanical Noise Advice Note for the reasons set out above. In the instance that Council is unlikely to support the proposed minor change application it is requested that it contact our office to discuss further, prior to resolving its position.

If you have any questions regarding this development application, please contact the Sarah Jones or the undersigned on TEL: (07) 4724 0095.

Yours sincerely,

MILFORD PLANNING

George Milford
DIRECTOR

- Encl: Attachment 1: Council’s Early Referral Entity Response
- Attachment 2: Amended Plans prepared by Concepts Building Design
- Attachment 3: Acoustic Assessment prepared for AP2019/006

Appendix 1

TOWNSVILLE CITY COUNCIL



Date >> 21 December 2022

PO BOX 1268, TOWNSVILLE
QUEENSLAND 4810

13 48 10

Milford Planning
PO Box 5463
TOWNSVILLE QLD 4810

enquiries@townsville.qld.gov.au
townsville.qld.gov.au



Email >> info@milfordplanning.com.au

Dear Sir/Madam

Early Referral Entity Response *Townsville SDA Development Scheme (May 2019)*

I refer to your letter dated 18 November 2022 requesting early referral comments from council regarding the application mentioned below proposed within the Townsville State Development Area (TSDA).

Upon review, council would like to provide the following comments and conditions to be considered on any future development permit if approval is issued by the Coordinator General.

Application Details

Application no:	CAR22/0477
Assessment no:	3172043
Request type:	Early Referral Entity Response
Proposal:	Material Change of use for High Impact Industry (Mobile Concrete Batching Plant and Precast Shed)
Street address:	43 Penelope Road STUART QLD 4811
Real property description:	Lot 700 SP 331994
Your reference:	M2033
Assessment Manager:	Office of the Coordinator General

Referral Triggers

The application has been referred to council as Early Referral in accordance with schedule 2, part 2, section 2.2 of the development scheme for the Townsville State Development Area.

Matters of Referral Agency's Assessment

Pursuant to Schedule 2, part 2, section 2.2 of the Townsville State Development Area Development Scheme, council has reviewed the application and assessed the development against the Local Planning Instruments.

Council would like to advise the application referred to us for an Early Referral response is supported subject to the attached conditions being included on any development permit that may be issued.

Final matters

Council awaits the Coordinator General's decision on the application and receiving a copy of the decision notice.

If you have any further queries in relation to the above, please do not hesitate to contact Senior Development Assessment Officer, Melanie Percival on telephone 07 4727 9479 or email developmentassessment@townsville.qld.gov.au.

Yours faithfully



For Assessment Manager

Planning and Development

Enclosed>> Material Change of Use Recommended Schedule of Conditions
Attachments>> Accepted Plans

CC>> Office of the Coordinator General
Email >> Richard.alarcon@coordinatorgeneral.qld.gov.au
Catherine.oneill@coordinatorgeneral.qld.gov.au

SUGGESTED SCHEDULE OF CONDITIONS

MATERIAL CHANGE OF USE

(HIGH IMPACT INDUSTRY (MOBILE CONCRETE BATCHING PLANT AND PRECAST SHED))

1. Approved Plans and Supporting Documentation

Condition

The development must generally comply with the plans referenced in the table below and attached as stamped "Approved Subject to Conditions" which forms part of this approval, unless otherwise specified by any condition of this approval.

Plan Name	Plan No.	Revision No.	Plan Date
Site Plan	22-038 sheet sk_02	1	12.12.05
Ground Floor Plan	22-038 sheet sk_03	1	Oct 2022
Elevations (East & North)	22-038 sheet sk_04	1	28 May 2021
Elevations (West & South)	22-038 sheet sk_05	1	28 May 2021

Reason

The development must comply with all planning scheme requirements and definitions as approved and conditioned by this development permit.

Timing

During the operation and life of the development.

2. Production Thresholds

Condition

The development must not result in the production of more than 50,000m³ of concrete and 5,000m³ of precast concrete per year, unless otherwise agreed by Council.

Reason

To ensure development is appropriately serviced and operates in accordance with the relevant code/s and policy direction.

Timing

For the life of the development.

3. Storage

Condition

Goods, equipment, packaging material or machinery must not be stored or left exposed outside the building so as to be visible from any public road or thoroughfare. Any storage on site is required to be screened from view from all roads and adjacent properties.

Reason

To ensure the development does not have a detrimental effect on the visual amenity of the surrounding land in accordance with relevant code/s and policy direction.

Timing

At all times following the commencement of the use.

4. Sewerage Reticulation

Condition

The development must be serviced by the public sewerage network.

Reason

To ensure that the development is appropriately serviced by reticulated sewer infrastructure in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of the use.

5. Water Supply

Condition

The development must connect to council's reticulated water system.

Reason

To ensure that the premises is appropriately serviced by reticulated water supply infrastructure in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of the use.

6. Electricity and Telecommunication

Condition

Electricity and telecommunications must be provided in accordance with Part 9.3.6 Works code of the Townsville City Plan.

Reason

To provide an appropriate level of electricity and telecommunication services for the development in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of use.

7. Relocation of Services or Facilities

Condition

Any required relocation and/or alteration to any public service or facility installation must be carried out at no cost to council.

Reason

To ensure development is appropriately serviced by public services and/or in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of use.

8. Stormwater Drainage

Condition

An appropriately qualified and experienced Registered Professional Engineer of Queensland (RPEQ) must certify that stormwater drainage achieves the prescribed outcomes in accordance with Part 9.3.2 Healthy waters code of the Townsville City Plan.

Reason

To convey stormwater legally and in an environmentally responsible manner in accordance with Part 9.3.2 Healthy waters code of the Townsville City Plan.

Timing

Prior to the commencement of any works onsite.

9. Stormwater Quality Management

Condition

A Stormwater Quality Management Plan (SQMP) must be prepared by a suitably qualified person in accordance with Part 9.3.2 Healthy waters code of the Townsville City Plan. The SQMP must be implemented in accordance with the guideline. All works must be carried out in accordance with SC6.4 Development manual planning scheme policy of the Townsville City Plan.

Reason

To manage and to minimise the risk of causing environmental harm to receiving waters, damage to council infrastructure, and unnecessary financial burdens to council and the community in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of any works onsite.

10. Minimum Floor Levels

Condition

Floor levels must achieve immunity from flood hazard by ensuring;

- (a) floor levels of all non-habitable rooms are above the defined flood event level; and
- (b) floor levels of all habitable rooms are 300mm above the defined flood event level.

Documentation signed by a RPEQ must be submitted to a Building Certifier identifying the required minimum floor height of all habitable rooms to achieve storm tide/flood immunity.

Reason

To ensure the development is appropriately immune from flood water in accordance with relevant code/s and policy direction.

Timing

Prior to the issuing of a Development Permit for Building Works of each stage.

11. Roadworks and Traffic

Condition

- a) Unless otherwise agreed, new access driveway/s and crossover/s from the existing kerb and channel/edge of bitumen to the property boundary must be constructed generally in accordance with Part 9.3.5 Transport impact, access and parking code of the Townsville City Plan.
- b) During the construction phase, any damage to the road reserve (i.e. footpath, kerb and channel, existing road) must be replaced in accordance with relevant Council standards and to equal or better design standard as the existing infrastructure.

Reason

To provide development with access in accordance with council standards.

Timing

Prior to the commencement of construction and during the construction phase.

12. Car Parking

Condition

- a) All car parking facilities, associated ramps, and driveways (including all truck parking areas) must be provided in accordance with Part 9.3.5 Transport impact, access and

parking code and designed in accordance with SC6.4 Development manual planning scheme policy specifically SC6.4.3.5 Car parking and public transport facilities guidelines of the Townsville City Plan and as detailed in the latest amendment of the Australian/New Zealand Standard AS/NZ 2890. All car parking facilities must be maintained to a safe operating standard at all times thereafter.

- b) A minimum of 15 car spaces including disabled parking must be provided on site in accordance with SC6.10 Parking rates planning scheme policy of the Townsville City Plan.

Reason

To ensure development is appropriately serviced by parking and access facilities in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of the use of each stage.

Advise

Please note all external areas are to be sealed, turfed, or landscaped; unsealed areas are not supported by Council.

13. Landscaping

Condition

Landscape Plans must be prepared and provided for approval in accordance with Part 9.3.3 Landscape code of the Townsville City Plan. Landscaping and Irrigation must be constructed in accordance with the approved landscaping plan(s) and constructed to the relevant standards in accordance with relevant code/s and policy direction.

Specific attention must be given to the following details;

- a) Street trees must be provided to the frontage of the site as set out in the Landscape code and associated policies. The preferred species for this location is *Syzygium forte*.
- b) All shade trees shown to the car park area in the north east corner of the site must have shade trees included at the rate prescribed by the Landscape policy – including the provision of minimum root ball development zone.
- c) All bio-basin areas and/or swales must include shade trees in accordance with The City Plan Water Sensitive Urban Design construction guideline.
- d) All soft landscaping must be provided with automated irrigation, including the road reserves.

Reason

To achieve the desired character of the location in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of the construction.

14. Soil Erosion and Sediment Control Plan

Condition

- a) Soil erosion and sediment control (SESC) plans must be prepared by a suitably qualified professional and submitted to Council for approval, with the proposed SESC measures to be designed in accordance with "Best Practice Erosion and Sediment Control" published by the International Erosion Control Association (Australasian Chapter) (IECA, 2008). The plans must demonstrate that the proposed SESC measures will achieve the erosion and sediment control design objectives specified in Appendix 2, Table A of the State Planning Policy 2017.
- b) Prescribed Water Contaminants (as defined in the *Environmental Protection Act 1994*) must not be released from the site or to waters within the site, or be likely to be released should rainfall occur, unless all reasonable and practicable measures are taken to prevent or minimise the release and concentration of contamination. These measures must be designed, implemented and maintained in accordance with "Best Practice Erosion and Sediment Control" published by the International Erosion Control Association (Australasian Chapter) (IECA, 2008) and achieve the design objectives specified in Appendix 2, Table A of the State Planning Policy 2017.

Reason

To ensure that receiving waters during construction of the development are managed from the effects of increased sediment run-off in accordance with relevant code/s and policy direction.

Timing

- a) Prior to the commencement of works.
- b) At all times during the construction phase of the development.

Advice

Traditional (e.g. Type D) sediment basins operate as batch systems and are not recommended in coastal Queensland because rainfall often occurs in consecutive events which does not allow sufficient time for the batch process to occur. Batch basins would need to be impractically large or require impractical treatment and dewatering strategies to achieve the State Planning Policy 2017 design objectives. High Efficiency Sediment (HES) basins, which operate on a continuous flow basis, are recommended instead and allow a much

greater volume of runoff to be treated for a given basin size compared to traditional batch basins. HES basins designed in accordance with the 2018 revision of Appendix B of IECA, 2008 will achieve the SPP design objective and are an accepted solution to achieve compliance with this policy.

15. Acid Sulphate Soils Management

Condition

Soil and groundwater investigations must be conducted in accordance with Part 9.3.2 Healthy waters code of the Townsville City Plan to support the proposed earthworks. Should the soil and groundwater investigations reveal the presence of acid sulphate soils or potential acid sulphate soils, an Acid Sulphate Soils Management Plan must be prepared and submitted for approval.

Reason

To ensure potential adverse impacts on the natural and built environment including infrastructure and human health as a result of acid sulphate soils are avoided in accordance with relevant code/s and policy direction.

Timing

Prior to any construction commencing onsite.

16. Dust Management

Condition

Dust mitigation measures must be implemented onsite for the suppression of dust. During Level 3 and 4 water restrictions, water must not be drawn from council's reticulated supply. Water to be used for dust mitigation is to be drawn from sources other than council's reticulated supply should Level 3 and 4 water restrictions be in effect and/or imposed during the construction of the development.

Reason

To mitigate potential adverse impacts of dust hazards in accordance with SC6.4 Development manual planning scheme policy specifically SC6.4.5.2.1(12) Suppression of dust of the Townsville City Plan.

The drawing of water from a non-reticulated source is to provide the ongoing protection of council's reticulated supply.

Timing

At all times during the construction phases of the development.

17. Refuse Facilities

Condition

Refuse collection arrangements must be provided by the developer so as to achieve the requirements of Part 9.3.6 Works code of the Townsville City Plan and in particular:

- a) A waste storage area must be provided of sufficient size to house all garbage bins including recycling bins. The developer must provide a storage area that is to be suitably paved, with a hose cock fitted in close proximity to the enclosure and drain to sewer via a legal sewer connection.
- b) The minimum overhead clearance required for refuse collection is 6.5 metres. Access for the collection of bulk bins is not to be impeded by any overhead obstructions such as trees, wires or other structures. This minimum height clearance must be maintained at all times.
- c) All waste generated as a result of the construction of the premises is to be effectively controlled and contained entirely within the boundaries of the site before disposal. All waste is to be disposed of in accordance with the Environmental Protection (Waste Management) Regulation 2000.
- d) Access roads and driveways must be designed and constructed to accept vehicle loadings of not less than G.V.M 33 tonnes.

Reason

To ensure the premises is appropriately serviced and to protect matters of public health and amenity in accordance with relevant code/s and policy direction.

Timing

Prior to commencement of the use and to be maintained for the life of the development.

18. Noise Impact Assessment

Condition

A noise impact assessment, prepared by a suitably qualified person, is to be provided as a part of the development, outlining the expected noise output and proposed measures to ensure acoustic amenity of surrounding residences/land uses are protected.

Ensure the assessment provides the following initial information:

- Location map of noise sources of all receiving sensitive receptors
- Operational hours and potential noise sources from surrounding businesses and activities
- Noise from surrounding car parking, service vehicle activities and loading bay areas
- Noise from surrounding refrigeration equipment, pumps, compressors, mechanical ventilation equipment, vents, and applicable items of plant

- All assumptions of noise propagation and attenuation due to distance and barriers
- Rating background level using one-tenth percentile method for continuous recording over a minimum of 48 hours period
- Sleep disturbance criteria
- Tonal or low frequency noise to include one-third octave analysis
- Weather conditions

Reason

To ensure the development does not cause an environmental nuisance to nearby sensitive receptors in accordance with section 440 Part 3B 'Offences relating to noise standards' of the Environmental Protection Act 1994 and to control background creep of the Environmental Protection (Noise) Policy 2019.

Timing

During the operation and life of the development

19. Noise Management

Condition

A site-specific noise management plan must be submitted. The plan must be prepared by a suitably qualified person and include, but not limited to the following:

- identification of nearby sensitive receptors;
- prediction as to the level of noise impact likely to affect the nearby sensitive receptors from the use and proposed number of high noise intrusive appliances intended to be operated onsite;
- course of action which will be undertaken following receipt of a complaint concerning intrusive or nuisance noise;
- details of any noise mitigation measures that have been outlined by a suitability qualified person that will be deployed onsite to reduce noise impacts on sensitive noise receptors; and
- what plant and equipment are to be used on site, the level of sound mitigation measures to be undertaken in each case and the criteria adopted in their selection, taking into account the likely noise impacts on the occupiers of neighbouring properties and other less intrusive technologies available.

Reason

To ensure that the use does not cause an environmental nuisance to nearby sensitive receptors in accordance with section 440 of the Environmental Protection Act 1994.

Timing

During the operation and life of the development.

20. Odour Management

Condition

- a) Implement odour control measures during the operation and life of the development to prevent an environmental nuisance from affecting nearby sensitive receptors.
- b) In the event of a complaint being received by Council in relation to odour, the developer/ operator must engage a suitably qualified consultant to undertake an assessment addressing odour emanating from the site for this use in accordance with the provisions of the *Environmental Protection Act 1994*.

The assessment must be accompanied by a report, inclusive of supporting calculations and site investigations and provide a recommended method and location of odour attenuation measures. The developer/operator must provide a copy of the report to Council and undertake any works (if required from the report) within 3 months at no cost to Council.

Reason

To ensure that the use does not cause an odour nuisance to nearby sensitive receptors.

Timing

During the operation and life of the development.

21. Outdoor Lighting

Condition

Any outdoor lighting fixtures must be installed and maintained so that they do not emit glare or light above the levels stated in Australian Standard 4282 – 1997 Control of the Obtrusive Effects of Outdoor Lighting.

Reason

To ensure that the use does not cause a light nuisance to nearby sensitive receptors, and to ensure that a nuisance is not caused to the use from other nearby light sources in accordance with the *Environmental Protection Act 1994* Section 440.

Timing

Prior to commencement of the use and to be maintained for the life of the development.

22. Property Numbering

Condition

Legible property numbers must be erected at the premises and must be maintained.

The site identification numbers should be of reflective material, maintained free from foliage and other obstructions, and be large enough to be read from the street.

Reason

To allow the general public, service and emergency service providers to effectively identify the property.

Timing

Prior to the commencement of the use and maintained for the life of the development.

23. Screening of Plant and Utilities

Condition

Unless otherwise agreed in writing by council, all plant and utilities must be screened or located so as not to be visible from the street.

Reason

To ensure the development does not have a detrimental effect on the amenity of the surrounding land in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of the use of all relevant Stages and maintained for the life of the development.

24. Building Materials

Condition

The exterior surfaces of all buildings and structures associated with the use must be constructed from materials and/or painted or similarly treated with paint or pigment of a low reflective level which does not cause excessive glare.

Reason

To ensure protection of matters of public safety and amenity in accordance with relevant code/s and policy direction.

Timing

Prior to the commencement of the use and maintained for the life of the development.

Advice

Infrastructure Charges

An Infrastructure Charges Notice outlining the estimated infrastructure contributions payable relevant to the Development Permit is attached for your information.

Water restrictions

To manage Townsville's water resources, Townsville City Council regulates water restrictions on a permanent basis. All development undertaken in Townsville must be mindful of the current and projected level of water restrictions that may affect development activities such as landscaping establishment and/or soil erosion and sediment control.

Proponents and developers remain responsible for compliance with any water restrictions as directed by Townsville City Council.

During times of significant water shortage, Townsville City Council may refuse to grant proponents and developers exemptions from water restrictions for the purpose of landscaping works or soil erosion and sediment control activities.

In circumstances where exemptions to water restrictions are no longer issued by Townsville City Council, bonding of soft landscaping works will be permitted to enable the release of compliance certificates. In cases where the soft landscaping is a component of permanent soil erosion and sediment control (such as an open drain) the use of "bonded fibre matrix" type hydro-mulch products or other suitable soil erosion and sediment control methods can be carried out as alternatives to demonstrate compliance with water restrictions.

The responsibility for compliance with all relevant environmental protection requirements (in particular, sediment and erosion control) remains with the proponent and developer.

Plumbing and Drainage Works

A Compliance Permit to carry out plumbing and drainage works prior to the commencement of sanitary drainage works is required.

Building Works

A Development Permit for Building Works to carry out building works prior to works commencing on site is required.

Operational works approval

The proponent must submit an Operational Works application to Townsville City Council addressing the following information:

- (a) a **Soil Erosion Minimisation and Sediment Control Plan** certified by an RPEQ or certified professional in erosion and sediment control in accordance with the healthy waters code of the Townsville City Plan
- (b) a detailed RPEQ certified stormwater drainage design and stormwater quality management plan, demonstrating that **stormwater drainage** achieves the prescribed outcomes of Townsville City Plan as part of each stage.

- (c) technical details demonstrating that **car parking** is designed and constructed in accordance with the Townsville City Plan.
- (d) if required, plans for the following **earthworks** activities:
 - a. filling and/or excavation within 1.5 metres of a lot boundary and exceeding a depth of 300mm
 - b. filling and/or excavation involving a depth exceeding 1 metre or a volume of 10m³ or more
- (e) technical details demonstrating that all **Landscaping** is designed in accordance with the Landscape Code and Works Code of the Townsville City Plan.

Roadworks approval

The proponent is required to obtain from Townsville City Council a Roadworks Approval in accordance with Townsville City Council's Local Laws 4 for the installation of any hoardings, gantries or temporary road closures of the footpath or road prior to the commencement of works.

The application is to include the following:

- (a) completed Roadworks approval application form;
- (b) prescribed fee; and
- (c) Traffic Management Plan prepared by a suitably qualified traffic professional detailing the traffic management measures put in place to manage all roadworks including pedestrians, cyclists and vehicle in accordance with Townsville City Council's *Manual of Uniform Traffic Control Devices Part 3 – Works on Roads*.

If the works required closure of part of the road reserve, a temporary Road Closure Permit will be required. This permit allows for a section of road reserve to be close for the purpose of works. The Queensland Police Service is the issuing authority for these permits. An application is to be made to Townsville City Council for a letter of no objection prior to applying to the Queensland Police Service for the permit. The Traffic Management Plan is to be included with the application to Townsville City Council.

As part of the application for a Roadworks Permit, the proponent is required to provide the following detailed plans showing new access driveways and crossovers in accordance with the Townsville City Plan.

Connection to Townsville City Council water supply

A copy of this permit and the approved water reticulation design must be submitted to Council with the appropriate application form for connection to council's water supply. Council will respond to the application with a quotation for the work and upon payment will schedule the works for connection.

Connection to Townsville City Council sewer

A copy of this permit and the approved sewer reticulation design must be submitted to council with the appropriate application form for connection to council's sewer supply. Council will respond to the application with a quotation for the work upon payment will schedule the works for connection.

Storage of Materials and Machinery

All materials and machinery to be used during the construction period are to be wholly stored on the site, unless otherwise approved by council.

Building Work Noise

The hours of audible noise associated with construction and building work on site must be limited to between the hours of:

- 6.30 a.m. to 6.30 p.m. Monday to Saturday; with
- No work on Sundays or Public Holidays.

Mechanical Noise

All refrigeration equipment, pumps, compressors, air conditioning units and mechanical ventilation systems must be located, designed, and installed to not exceed a maximum noise level of:

- 5dB(A) above background level between 7a.m. to 7p.m.;
- 3dB(A) above background level between 7p.m. to 10p.m; and
- no audible noise between 10p.m. and 7a.m.

Specifications and Drawings

Details of council's specifications and standard drawings can be viewed on Council's website.

Environmental Considerations

Department of Environment and Science requirements.

Construction must comply with relevant Legislation, Policies and Guidelines.

Liquid Trade Waste Approval/Agreement

The developer is advised that a Trade Waste Approval/Agreement may be required under the *Water Supply (Safety and Reliability) Act 2008*. This should be discussed with council's Planning and Development team at an early stage of project development.

Contact Tradewaste@townsville.qld.gov.au or 13 48 10.

Flammable and Combustible Liquids

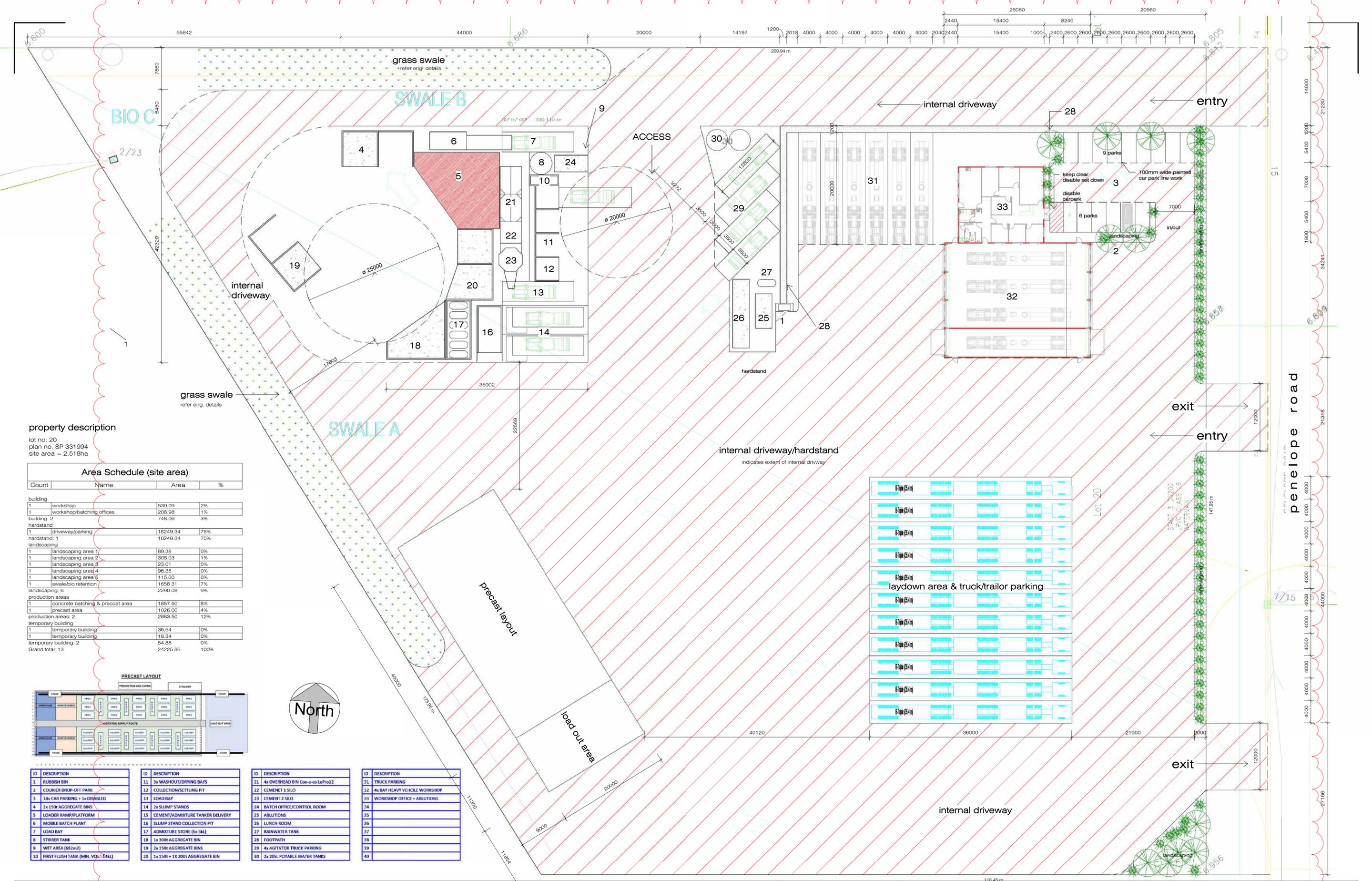
Flammable and combustible liquids are to be stored and handled in accordance with AS 1940 The Storage and Handling of Flammable and Combustible Liquids.

Chemical Storage

Where chemicals are stored or handled on site, the storage and handling of chemicals must be in accordance with the relevant WHS Code of Practice.

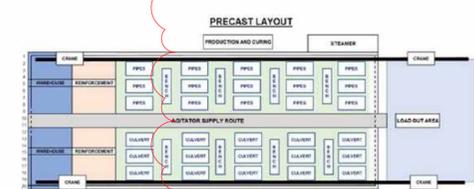
Noise Management

A noise impact assessment and a site-specific noise management plan must be submitted to Council for approval and recommendations must be implemented on site during the operation and life of the development.



property description
 lot no: 20
 plan no: SP 331994
 site area = 2.518ha

Area Schedule (site area)			
Count	Name	Area	%
building			
1	workshop	539.09	2%
1	workshop/batching offices	208.98	1%
building: 2		748.06	3%
hardstand			
1	driveway/parking	18249.34	75%
hardstand: 1		18249.34	75%
landscaping			
1	landscaping area 1	89.38	0%
1	landscaping area 2	308.03	1%
1	landscaping area 3	23.01	0%
1	landscaping area 4	96.35	0%
1	landscaping area 5	115.00	0%
1	landscaping area 6	1658.31	7%
1	swales/bio retention	2290.08	9%
landscaping: 6			
production areas			
1	concrete batching & precoat area	1857.50	8%
1	precoat area	1026.00	4%
production areas: 2		2883.50	12%
temporary building			
1	temporary building	36.54	0%
1	temporary building	18.34	0%
temporary building: 2		54.88	0%
temporary building: 2		24225.86	100%
Grand total: 13			



ID	DESCRIPTION	ID	DESCRIPTION	ID	DESCRIPTION	ID	DESCRIPTION
1	RUBBISH BIN	11	3x WASHOUT/DRIVING BAYS	21	4x OVERHEAD BIN Com-e-co LotPro12	31	TRUCK PARKING
2	COURIER DROP-OFF PARK	12	COLLECTION/SETTLING PIT	22	CEMENT 1 SILO	32	4x BAY HEAVY VEHICLE WORKSHOP
3	34x CAR PARKING + 1x DISABLED	13	LOAD BAY	23	CEMENT 2 SILO	33	WORKSHOP OFFICE + ABLUTIONS
4	2x 150L AGGREGATE BINS	14	2x SLUMP STANDS	24	BATCH OFFICE/CONTROL ROOM	34	
5	LOADER RAMP/PLATFORM	15	CEMENT/ADMIXTURE TANKER DELIVERY	25	ABLUTIONS	35	
6	MOBILE BATCH PLANT	16	SLUMP STAND COLLECTION PIT	26	LUNCH ROOM	36	
7	LOAD BAY	17	ADMIXTURE STORE (6x 5kL)	27	RAINWATER TANK	37	
8	STIRRER TANK	18	1x 300L AGGREGATE BIN	28	FOOTPATH	38	
9	WET AREA (682m2)	19	2x 150L AGGREGATE BINS	29	4x AGITATOR TRUCK PARKING	39	
10	FIRST FLUSH TANK (MIN. VOL=14kL)	20	1x 150L + 1X 200L AGGREGATE BIN	30	2x 200L POTABLE WATER TANKS	40	



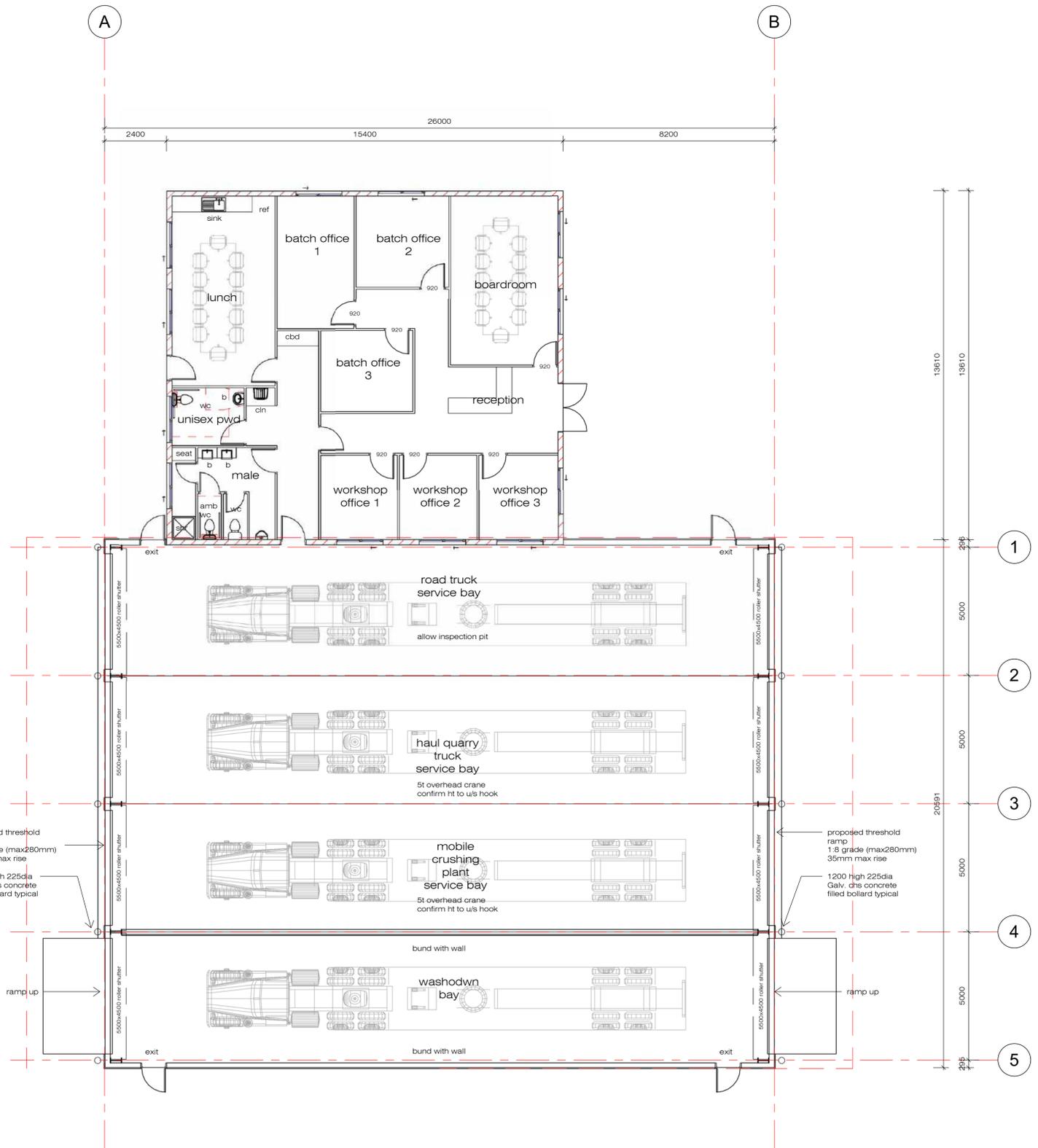
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No	Description	Date
1	additional information	12.12.05



project: Concrete Plant
 for: Camm Concrete
 at: lot 20 penelope road, cleveland bay, industrial park

Issue Date: sep 2022
Drawn: s.parr
Scale: As indicated
sheet: sk 02
22-038
printed 6/12/2022 8:39:40 AM



2 ground floor plan
sk_03 1:100

Area Schedule (Gross Building)			
Count	Name	Area	%
1	workshop	535.34	72%
1	office	209.60	28%
: 2		744.94	100%
Grand total: 2		744.94	100%

Preliminary
not to be used for construction purposes



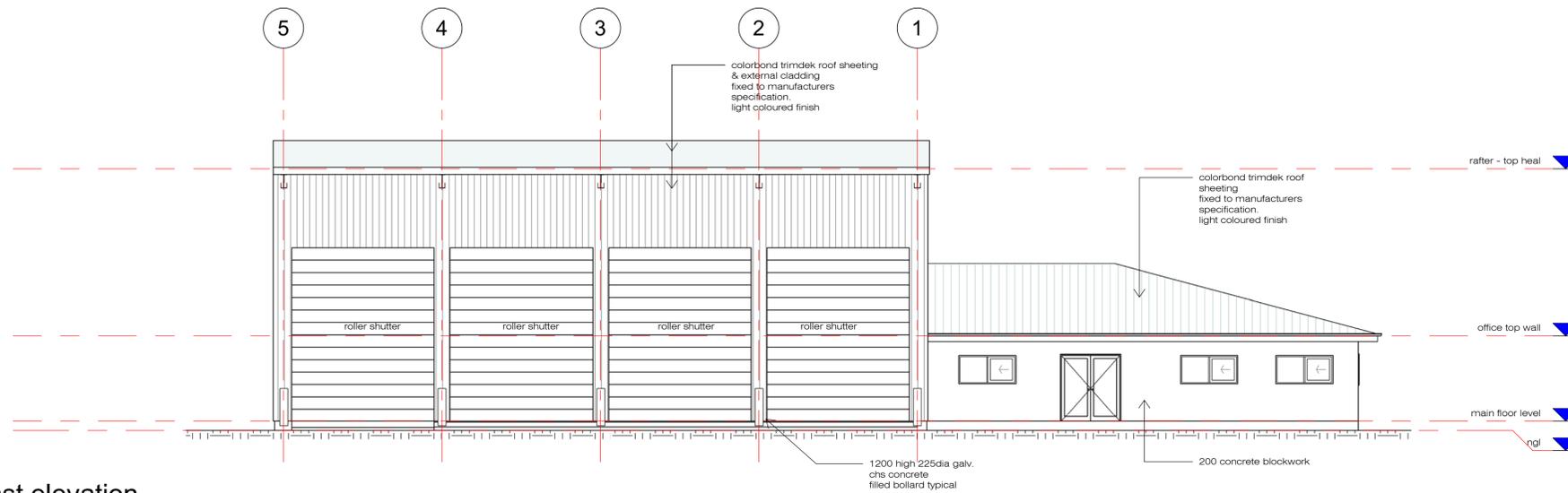
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No	Revision Schedule	Date
	Description	

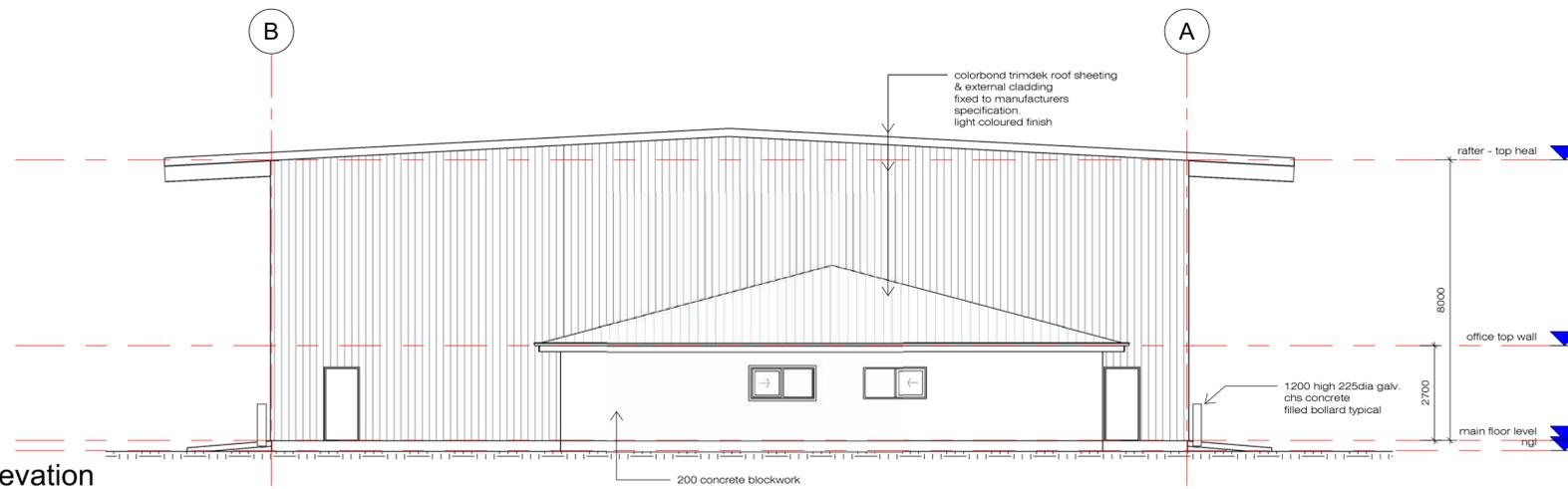


project:
Concrete Plant
for:
Camm Concrete
at:
Lot 20 -
Cleveland Bay Industrial Park

Issue Date	oct 2022
Drawn	Author
Scale	1:100
Sheet	sk_03
22-038	
printed 11/10/2022 12:12:51 PM	



3 east elevation
sk_04 1 : 100



2 north elevation
sk_04 1 : 100

Preliminary
not to be used for construction purposes



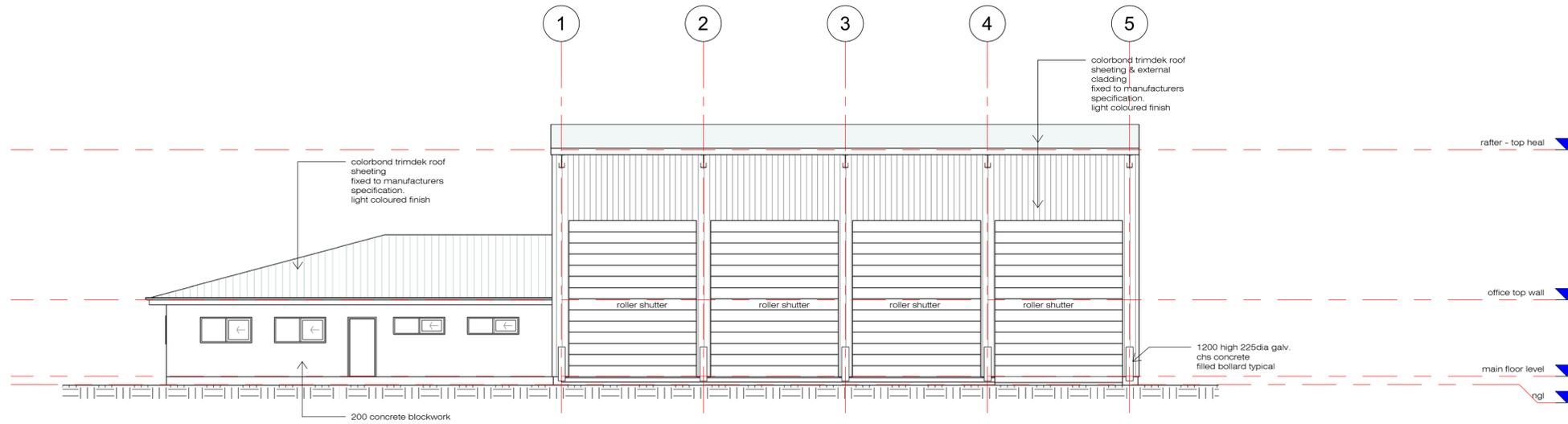
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No	Revision Schedule	Date
1	Description	

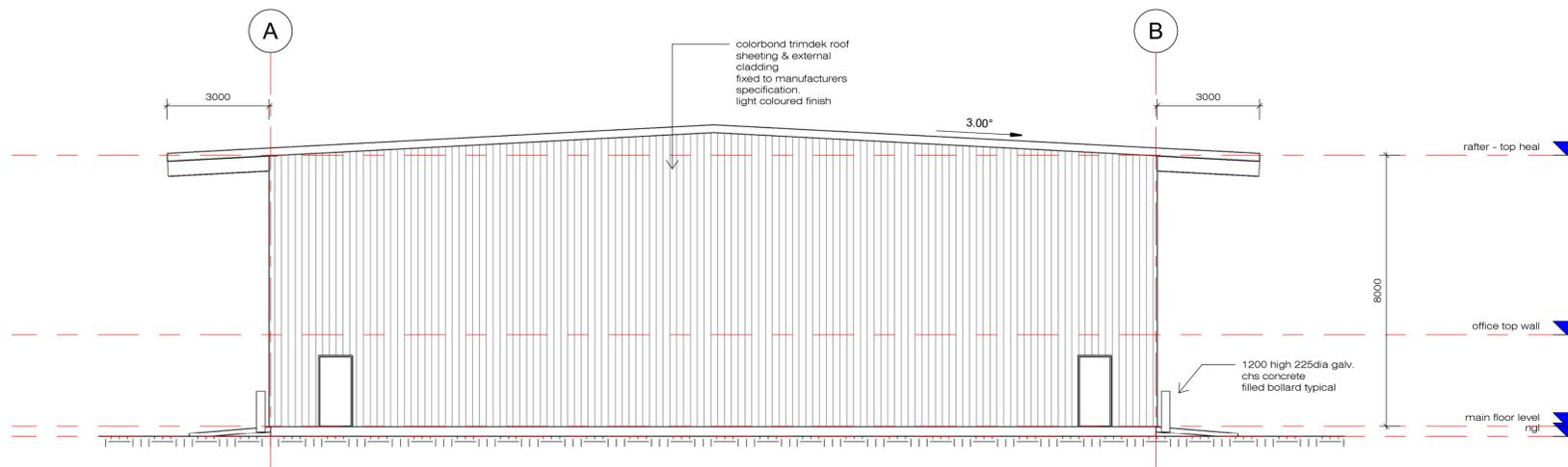


project:
Concrete Plant
for:
Camm Concrete
at:
Lot 20 -
Cleveland Bay Industrial Park

Issue Date	28 may 2021
Drawn	Author
Scale	1 : 100
Sheet	sk_04
22-038	
printed 11/10/2022 12:12:54 PM	



2 west elevation
sk_05 1 : 100



1 south elevation
sk_05 1 : 100

Preliminary
not to be used for construction purposes



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No	Revision Schedule	Date
	Description	



project:
Concrete Plant
for:
Camm Concrete
at:
Lot 20 -
Cleveland Bay Industrial Park

Issue Date	28 May 2021
Drawn	Author
Scale	1 : 100
Sheet	sk_05
22-038	
printed 11/10/2022 12:12:56 PM	

Appendix 2



locality plan

Sheet List	
Sheet Number	Sheet Name
sk_01	locality plan
sk_02	site plan
sk_03	workshop floor plan
sk_04	workshop elevations
sk_05	workshop elevations
Grand total: 5	

Preliminary
not to be used for construction purposes



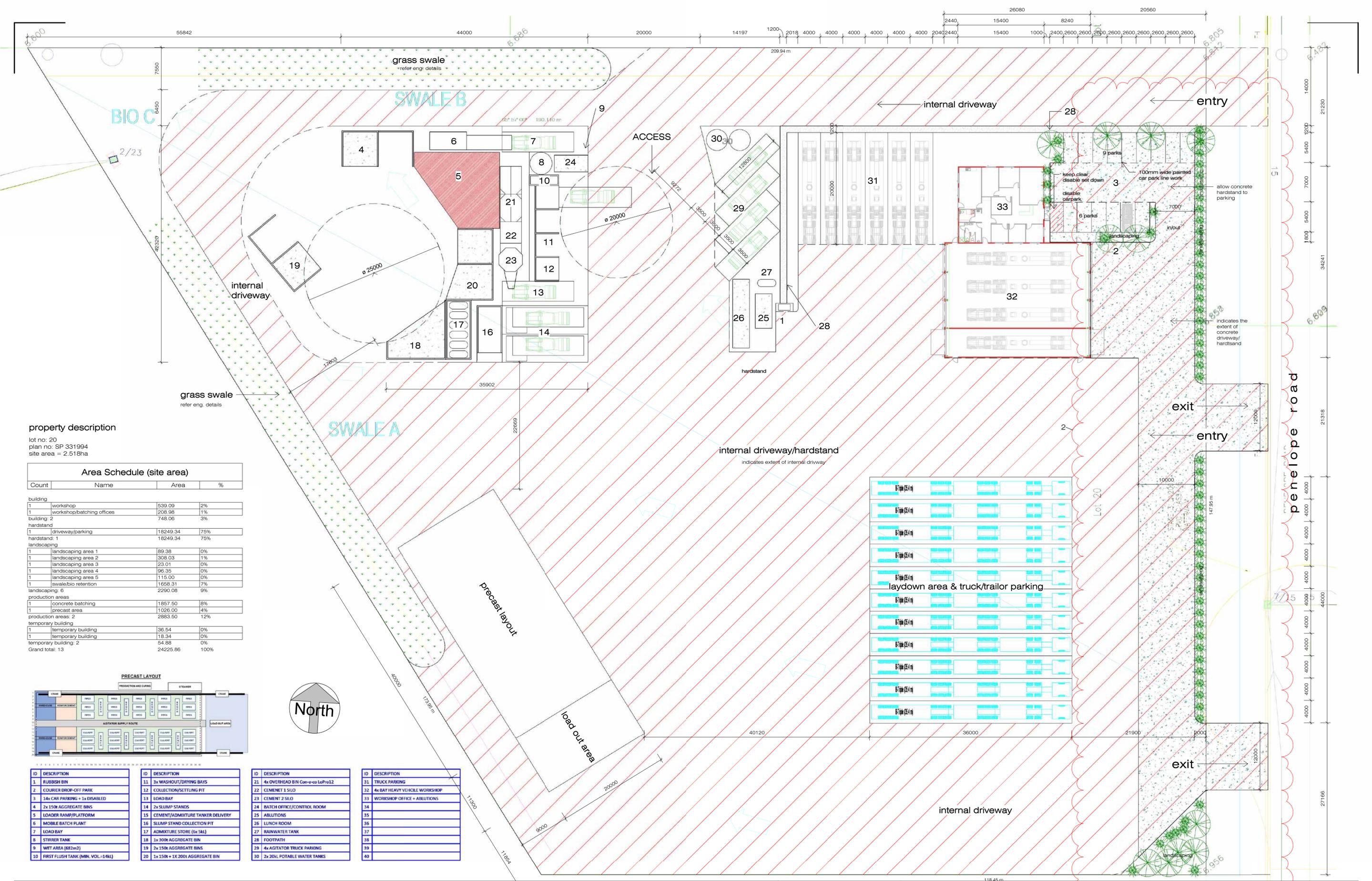
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No	Revision Schedule	Date
	Description	



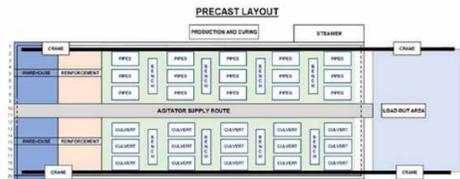
project:
Concrete Plant
for:
Camm Concrete
at:
lot 20 penelope road,
cleveland bay, industrial park

Issue Date	28 may 2021
Drawn	Author
Scale	1 : 3000
Sheet	sk_01
22-038	
printed 20/01/2023 2:23:43 PM	



property description
 lot no: 20
 plan no: SP 331994
 site area = 2.518ha

Area Schedule (site area)			
Count	Name	Area	%
building			
1	workshop	539.09	2%
1	workshop/batching offices	208.98	1%
building: 2		748.06	3%
hardstand			
1	driveway/parking	18249.34	75%
hardstand: 1		18249.34	75%
landscaping			
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1	landscaping area 4	96.35	0%
1	landscaping area 5	115.00	0%
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landscaping: 6		2290.08	9%
production areas			
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production areas: 2		2883.50	12%
temporary building			
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Grand total: 13		24225.86	100%



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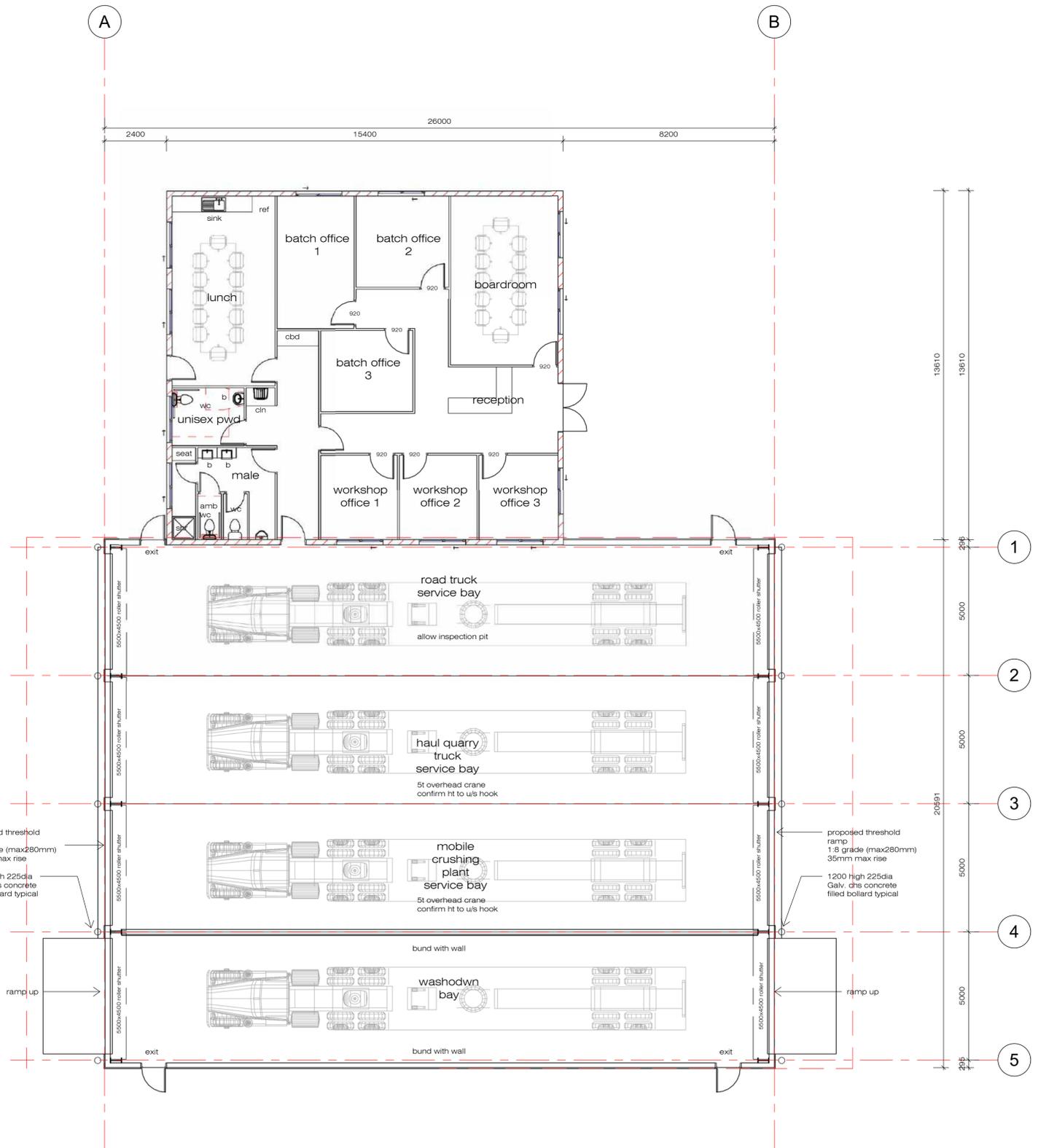
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No	Description	Date
1	additional information	22.12.05
2	add concrete hardstand/driveway/parking	23.01.13



project:
 Concrete Plant
 for:
 Camm Concrete
 at:
 lot 20 penelope road,
 cleveland bay, industrial park

Issue Date	sep 2022
Drawn	s.parrish
Scale	As indicated
sheet	sk 02
22-038	
printed 20/01/2023 2:23:51 PM	



2 ground floor plan
sk_03 1:100

Area Schedule (Gross Building)			
Count	Name	Area	%
1	workshop	535.34	72%
1	office	209.60	28%
: 2		744.94	100%
Grand total: 2		744.94	100%

Preliminary
not to be used for construction purposes



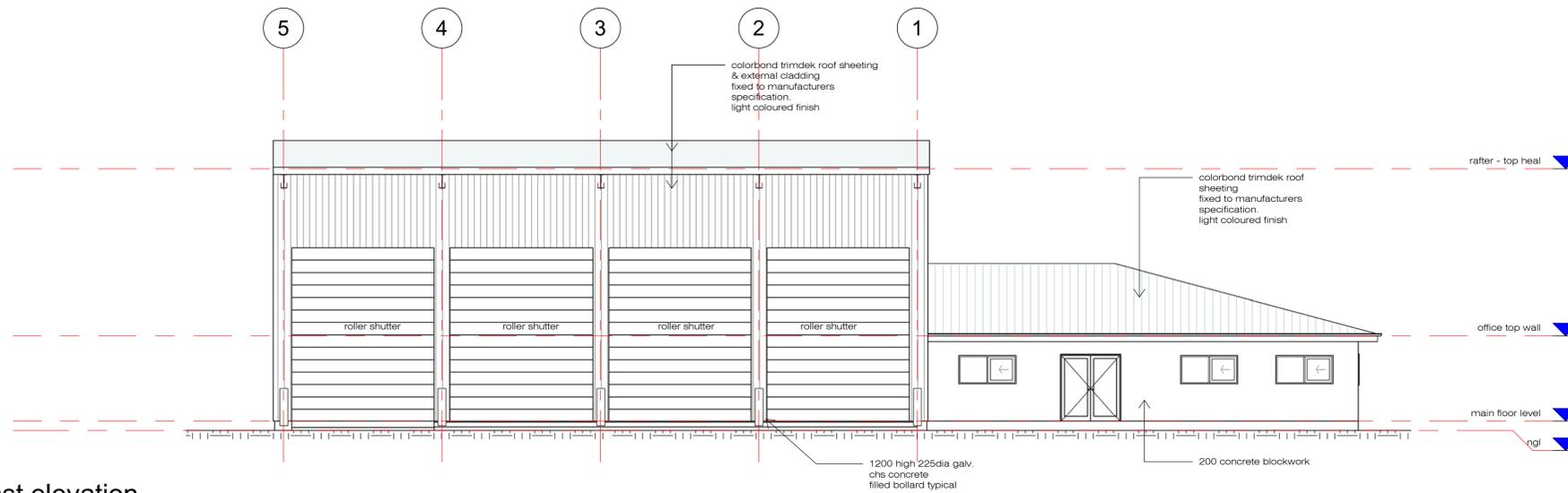
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No	Revision Schedule Description	Date

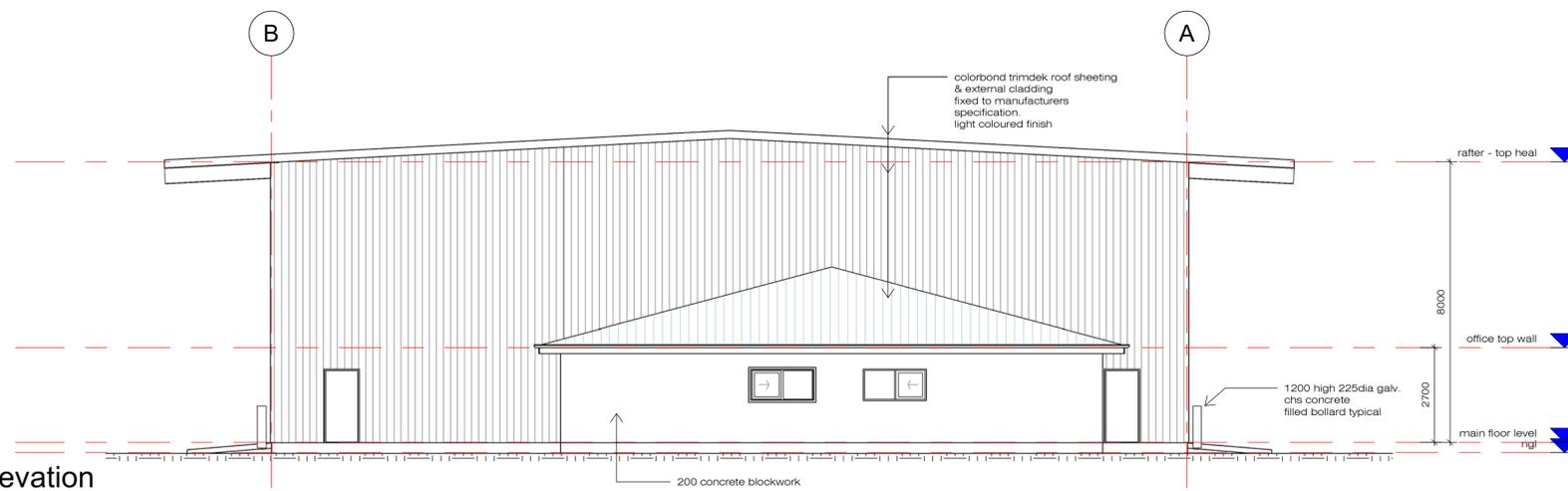


project: Concrete Plant
for: Camm Concrete
at: Lot 20 - Cleveland Bay Industrial Park

Issue Date: oct 2022
Drawn: Author
Scale: 1:100
Sheet: sk_03
22-038
printed 11/10/2022 12:12:51 PM



3 east elevation
sk_04 1:100



2 north elevation
sk_04 1:100

Preliminary
not to be used for construction purposes



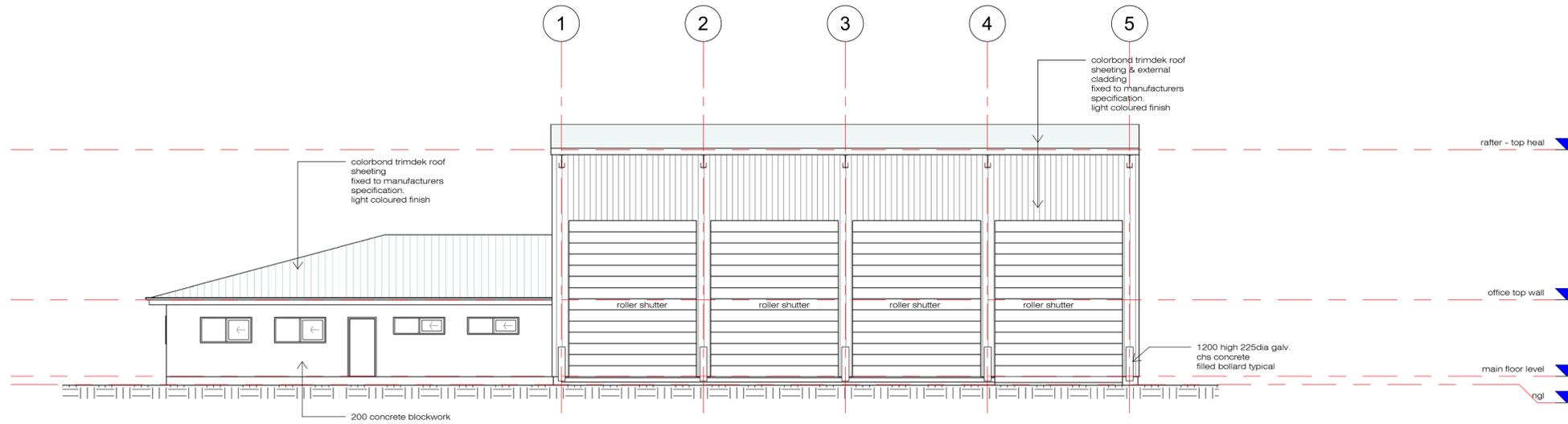
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No	Revision Schedule	Date
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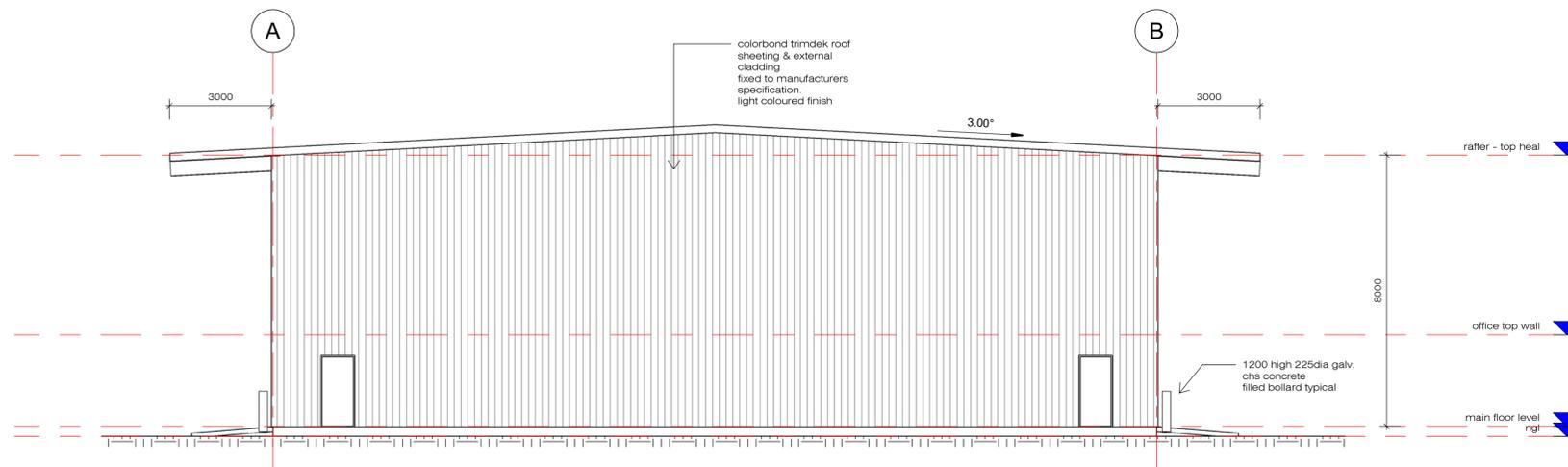


project:
Concrete Plant
for:
Camm Concrete
at:
Lot 20 -
Cleveland Bay Industrial Park

Issue Date	28 May 2021
Drawn	Author
Scale	1:100
Sheet	sk_04
22-038	
printed 11/10/2022 12:12:54 PM	



2 west elevation
sk_05 1 : 100



1 south elevation
sk_05 1 : 100

Preliminary
not to be used for construction purposes



NOTES:
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No	Revision Schedule	Date
	Description	



project:
Concrete Plant
for:
Camm Concrete
at:
Lot 20 -
Cleveland Bay Industrial Park

Issue Date	28 May 2021
Drawn	Author
Scale	1 : 100
Sheet	sk_05
22-038	
printed 11/10/2022 12:12:56 PM	

Appendix 3

PROPOSED TRANSPORT DEPOT (HARDSTAND TRUCK PAD)

37868 BRUCE HIGHWAY, CLUDEN



ACOUSTIC ASSESSMENT

Commissioned by:	Hawkins Group
Date:	29 November 2019
Project number:	4777
Version:	v.1
Author:	Roger Hawkins

DOCUMENT INFORMATION				
Author: Roger Hawkins		Approved by: Eric Huang		
Date: 29 November 2019		Date: 29 November 2019		
VERSION HISTORY				
Version	Description	Date	Author	Approved by
V.0	Draft	07/11/19	Roger Hawkins	Eric Huang
V.1	Final	29/11/19	Roger Hawkins	Eric Huang
DOCUMENT DISTRIBUTION				
Copy	Name/Company	Hard Copy	Electronic Copy	
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02		<input type="checkbox"/>	<input type="checkbox"/>	
03		<input type="checkbox"/>	<input type="checkbox"/>	
04		<input type="checkbox"/>	<input type="checkbox"/>	
05		<input type="checkbox"/>	<input type="checkbox"/>	

CONTENTS

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1.1	Existing site and surroundings	1
1.2	Proposed development.....	1
1.3	Information Request (IRQ).....	2
2.0	EPPNOISE	2
2.2	Assessment methodology	3
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5.0	INTERMITTENT AND FLUCTUATING NOISE	5
5.1	Criteria	5
5.2	Assessments – Vehicle movements.....	5
5.3	Refuse Collection	6
6.0	CONCLUSION	7

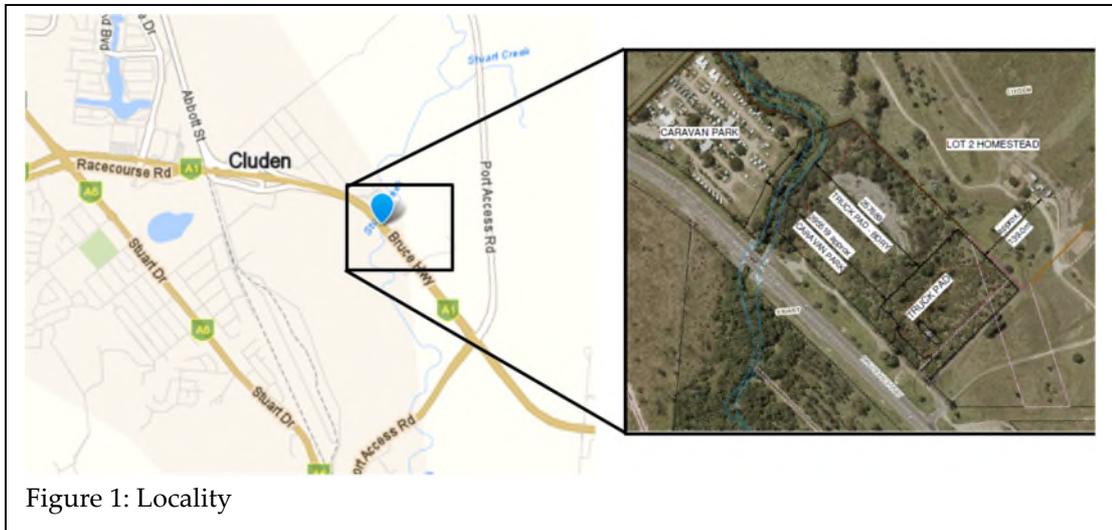
1.0 INTRODUCTION

Hawkins Capital Pty Ltd are seeking to establish a hardstand truck pad at 37868 Bruce Highway, Cluden, formally described as Lot 1 on RP 724555.

The Office of the Coordinator General, the assessment manager, has issued an Information Request in relation to the development application, Condition 2 of which requires the preparation of a Noise Report.

1.1 Existing site and surroundings

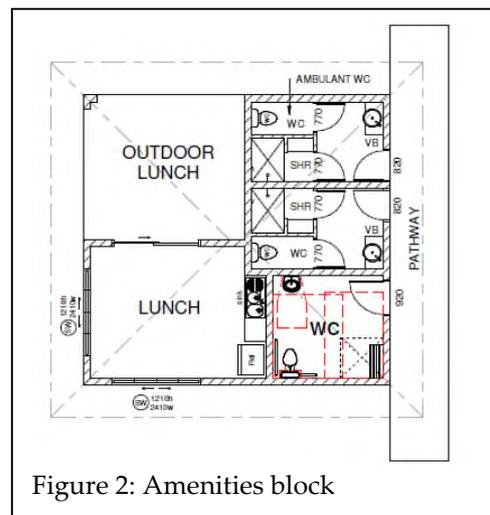
The site location and overlay of the development is indicated in Figure 1. The site is located southeast of the Magnetic Island Gateway Caravan park and south west of a homestead accessed from Southern Port Road. We understand that the homestead is unoccupied and is unlikely to be occupied in future.



1.2 Proposed development

The site development is indicated in Figures 2 & 3. As proposed, there are no mechanical plant items included in the design of the block.

Site access will be from the existing access on the Bruce Highway service Road and the development of the currently unformed, Helen Downs Road which connects to Southern Port access Road.



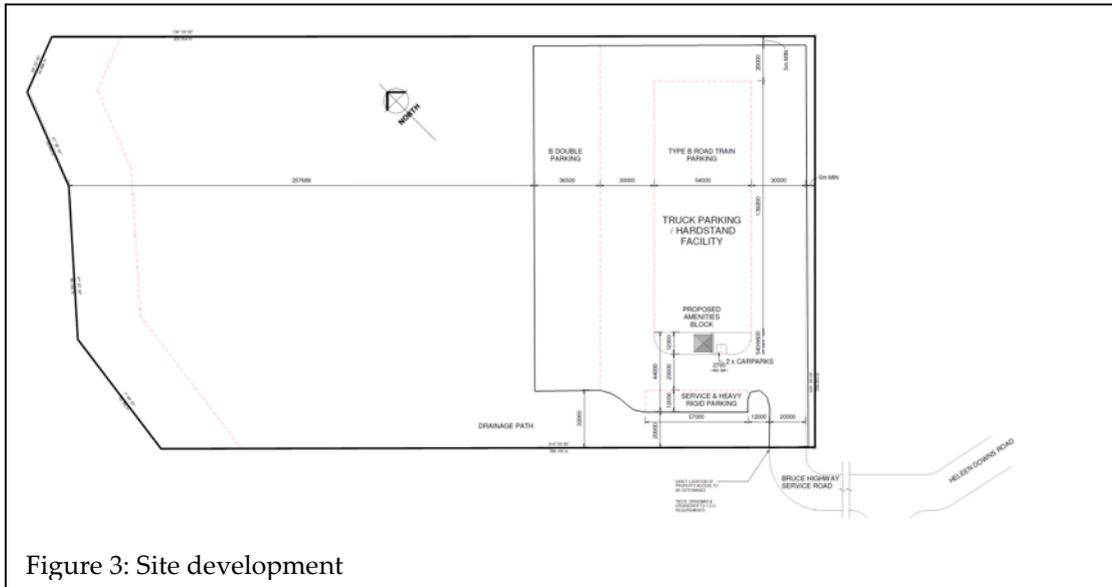


Figure 3: Site development

The identified noise sensitive locations are the caravan park and the unoccupied homestead.

1.3 Information Request (IRQ)

The information request acknowledges the identification of an adjacent caravan park as a sensitive receptor and on-site traffic movements as the principal noise source, as per the planning report, and requires:

... a noise report that includes an analysis of noise impacts against the assessment criteria of the Development Scheme, including the Environmental Protection (Noise) Policy 2008. The report is to assess the noise impacts of the proposed development, including but not limited to assessment of the following:

- *all activities on site and impacts on sensitive receptors;*
- *proposed 24 hours / 7 days a week use;*
vehicle movements on and off site for all operating hours.

This report evaluates noise emissions under the Environment Protection (Noise) policy 2019 (EPPNoise), Acoustic Quality Objectives. We note the information request reference to the Environmental Protection (noise) policy 2008 and advise that this has been replaced by the Environmental Protection (noise) Policy 2019.

2.0 EPPNOISE

EPP noise states:

6 Environmental values

The environmental values to be enhanced or protected under this policy are—

- (a) the qualities of the acoustic environment that are conducive to protecting the health and biodiversity of ecosystems; and

- (b) the qualities of the acoustic environment that are conducive to human health and wellbeing, including by ensuring a suitable acoustic environment for individuals to do any of the following—
 - (i) sleep;
 - (ii) study or learn;
 - (iii) be involved in recreation, including relaxation and conversation; and
- (c) the qualities of the acoustic environment that are conducive to protecting the amenity of the community.

7 Acoustic quality objectives for sensitive receptors

- (1) This section and schedule 1 state the acoustic quality objectives to be achieved and maintained under this policy.

9 Management Intent for Noise

- (1) This section states the management intent for an activity involving noise that affects, or may affect, an environmental value to be enhanced or protected under this policy.
- (2) To the extent it is reasonable to do so, noise must be dealt with in a way that ensures—
 - (a) the noise does not have any adverse effect, or potential adverse effect, on an environmental value under this policy; and
 - (b) background creep in an area or place is prevented or minimised.

2.2 Assessment methodology

From the above we understand that the Environmental values will be protected by ensuring that noise emissions are evaluated against the Acoustic Quality Objectives. Relevant portions of Schedule 1 of EPPNoise are extracted as Table 1, below. Background creep will be considered.

Table 1: Environmental limits

Column 1		Column 3			Column 4
Sensitive receptor	Time of day	Acoustic quality objectives (measured at the receptor) dB(A)			Environmental value
		L _{Aeq,adj,1 hr}	L _{A10,adj,1 hr}	L _{A1,adj,1 hr}	
Residence (for outdoors)	Daytime and evening	50	55	65	health and wellbeing
Residence (for indoors)	Daytime and evening	35	40	45	health and wellbeing
	Night-time	30	25	40	health and wellbeing, in relation to the ability to sleep

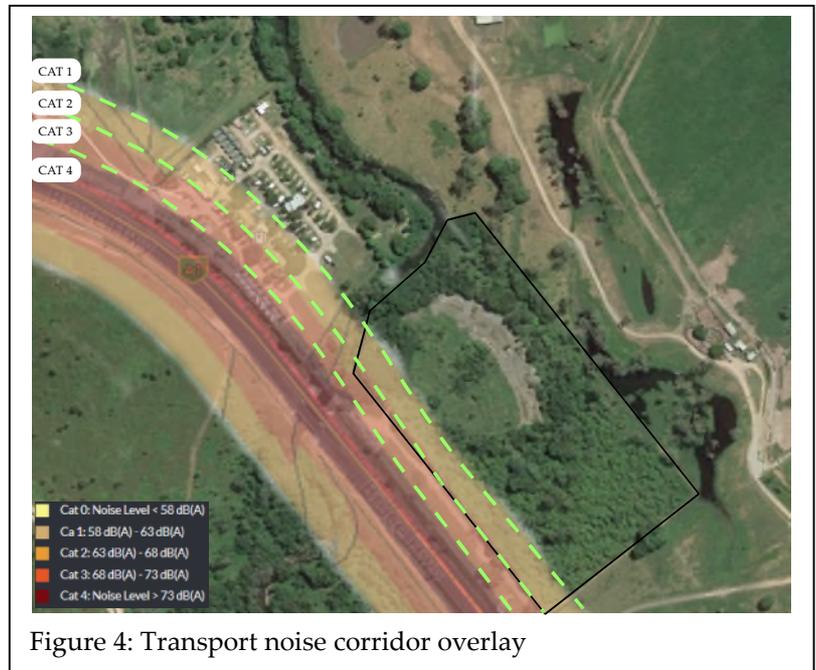
3.0 CURRENT NOISE LEVELS

The environmental noise levels at the site are unknown, however they may be conservatively estimated from Table 1 *Recommended outdoor background noise planning levels* of the Planning for Noise Control document: EM2371 2016, Department of Environment and Heritage Protection, as per Table 2, below.

Table 2: Extract from Table 1 - PNC document

Receiver Land Use	Receiver area dominant land use (Description of Neighbourhood)	Background noise level, min $L_{A90,1hour}$ (dBA)		
		Time Period		
		Day	Evening	Night
Residential area on a busy road or near an industrial area or commercial area	Residential, church, hospital school	45	40	35

The Caravan park lies within the transport noise corridor of the Bruce Highway, see Figure 4. The overlay indicates that the site is subject to noise levels of between 63 – 68 dB(A) L_{A10} at the edge of the corridor. Simple extrapolation of the corridor, beyond the limit of 100m from the highway centre line suggests that the remainder of the site will be subject to noise levels of 58 – 63 dB(A) L_{A10} (Noise Category 1).



4.0 CONSTANT NOISE ASSESSMENT – MECHANICAL PLANT

As noted above no mechanical plant is proposed for the facility. The possible, future installation of small toilet and kitchen extract fans will be of domestic scale only and will not present a noise nuisance hazard.

As there is no mechanical plant to be installed there will be no impact onto the background noise level. Noise from the intermittent vehicle events will be less than the noise generated by vehicles passing by at high speed on the highway. Accordingly background creep, see 9 *Management Intent for Noise* above, will not be an issue.

5.0 INTERMITTENT AND FLUCTUATING NOISE

The development has the potential to cause noise nuisance from:

- vehicles transiting the site;
- parking, idling and reversing;
- Refuse collection.

5.1 Criteria

The Coordinator General requires that potentially intrusive noise be assessed under the requirements of the EPA. The subordinate Environmental Protection (Noise) Policy 2008 in Schedule 1 lists Acoustic Quality Objectives for noise intrusion. These are extracted as Table 3, below.

From section 3.0 we note that the $L_{A10(18\text{ hour})}$ values represented by the traffic overlay exceed the L_{A10} acoustic quality objective, i.e. 55 dB(A) L_{A10} for the caravan park.

In recognition of the high external noise levels it is assumed that exterior windows are not typically opened fully. Accordingly, the indoor criteria from Table 1 may be conservatively considered to be represented as an external level 10 dB above the internal level, i.e. a 10 dB attention inside to outside. The derived exterior limits are included in Table 3 alongside the quoted objective levels.

Table 3: Environmental limits - exterior

Column 1	Column 2	Column 3			Column 4
Sensitive receptor	Time of day	Acoustic quality objectives (measured at the receptor) dB(A)			Environmental value
		$L_{Aeq,adj,1\text{ hr}}$	$L_{A10,adj,1\text{ hr}}$	$L_{A1,adj,1\text{ hr}}$	
Dwelling (for outdoors)	daytime & evening	50	55	65	health and wellbeing
Dwelling (for indoors)	daytime & evening	35 (45)	40 (50)	45 (55)	health and wellbeing
	night-time	30 (40)	35 (45)	40 (50)	health and wellbeing in relation to the ability to sleep

5.2 Assessments – Vehicle movements

Where emission criteria are expressed as L_{eq} values and noise emissions are not continuous, the number and duration of events must be estimated. Predicted noise emissions from vehicles accessing the hardstanding area including assumed number and duration of events are presented in Table 4, below.

Table 4: Typical maximum noise levels as measured from heavy vehicle movements

Source	Noise Level @ 10m	Number of events/duration (sec/event)		
		Day	Evening	Night
Truck pass-by	72 dB(A) L _{Amax}	10/20	2/20	5/20
Truck idle with refrigeration	69 dB(A) L _{Amax}	2/300	1/300	2/300
Reversing	79 dB(A) L _{Amax}	2/20	1/20	2/20

Table 5 presents the predicted noise impacts from heavy vehicles traversing the site or stopping/idling on the hardstand area. The closest approach to the adjacent sensitive locations is 257m from the edge of the hardstand area to the boundary of the caravan park and 150 – 200m to the adjacent (empty) dwelling. The presented calculations are based on distance attenuation of 6 dB per doubling of distance. Reversing is considered although the layout of the site makes this unnecessary, i.e. forward, forward out. Impacts are not considered against L_{A01} criteria as the criteria does not encompass events expected to last less than 36 seconds. L_{Amax} impacts are assessed against the L_{A01} metric. Reversing is considered for day and evening times only

Table 5: Predicted vehicle parking and driveway noise impacts – Caravan Park

Source	Distance Attenuation	Energy Averaging D/E/N	Noise Level dB(A) at Boundary		Complies With Noise Limits
			L _{Amax}	L _{Aeq} D/E/N	
truck pass by	28 dB	-13/-20/-16 dB	44	31/24/28 dB(A)	Yes
Truck idle with refrigeration	28 dB	-8/-11/-8 dB	41	33/30/33 dB(A)	Yes
Reversing	28 dB	-20/-23/-20 dB	51	31/28/- dB(A)	Yes

Table 6: Predicted vehicle parking and driveway noise impacts – Adjacent residence

Source	Distance Attenuation	Energy Averaging D/E/N	Noise Level dB(A) at Boundary		Complies With Noise Limits
			L _{Amax}	L _{Aeq} D/E/N	
truck pass by	24 dB	-13/-20/-16 dB	48	36/29/33 dB(A)	Yes
Truck idle with refrigeration	26 dB	-8/-11/-8 dB	43	35/32/35 dB(A)	Yes
Reversing	26 dB	-20/-23/-20 dB	53	33/30/- dB(A)	Yes

5.3 Refuse Collection

The small scale of the site indicates that refuse collection will be via smaller vehicles and infrequent. Accordingly refuse collection is not considered a noise nuisance risk.

6.0 CONCLUSION

From the data and calculation presented above the establishment of a truck stop facility will not cause a noise nuisance to adjacent sensitive locations.

Author:



ROGER HAWKINS RPEQ 6022
Senior Engineer

Reviewed by:



ERIC HUANG BEng
Senior Engineer