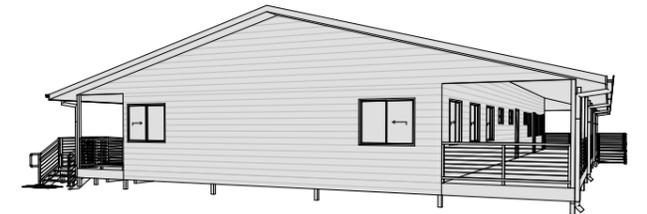
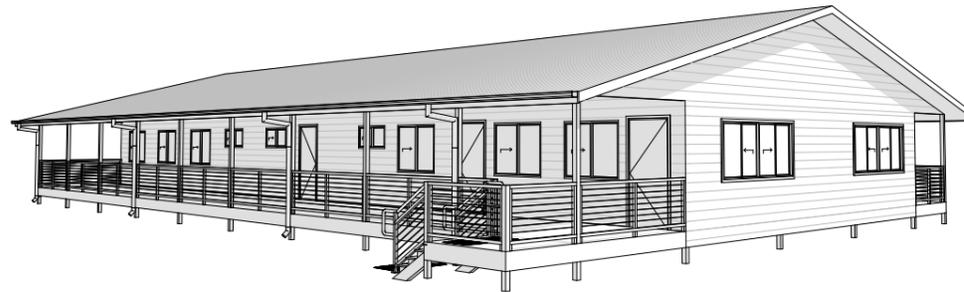
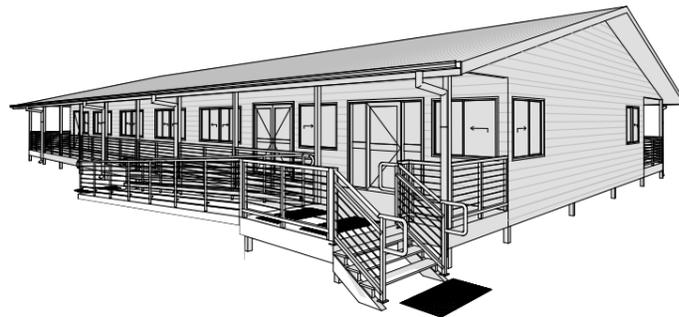




J i m b o o m b a T u r f F a r m
B r o o k l a n d R o a d A l l e n v i e w Q 4 2 8 5

DRAWING SCHEDULE	
Sheet No.	Sheet Name
	COVER PAGE
1	GENERAL NOTES
2	PROPOSED SITE PLAN
3	PROPOSED FLOOR PLAN
4	PROPOSED ELEVATIONS
5	SECTION
6	FLOOR FRAMING & POST LAYOUT
7	ROOF PLAN
8	ELECTRICAL PLAN
9	WINDOW SCHEDULE
10	DOOR SCHEDULE
11	INTERNAL ELEVATIONS
12	INTERNAL ELEVATIONS
13	OWHS NOTES



General Notes

This cover page must be circulated with all issued documentation.

The information contained within this documentation is to the best of our knowledge accurate and correct. However, all information is indicative and exact dimensions, specifications and other relevant information should be sought from the appropriate source.

Shopfitter to confirm locations of all existing services on site prior to commencing any works.

Shop drawings or fabrication figured dimensions take precedence over scaled dimensions, any discrepancies should be referred to Cyber Services Group immediately.

Shopfitter to consult and build according to the landlords site specific design guidelines, fitout guide and latest lease plans and base building drawings supplied by landlord. Shopfitter to refer to the landlords site specific guidelines and fit out guide to confirm whether any penetrations in blockwork walls are allowed.

Contractors to ensure consistency between materials is maintained.

Prepare and make good all surfaces and substrates as required to receive new finishes as per manufactures specification.

Make good to all surfaces as required to match adjacent to surfaces.

Chasing and core holes to be confirmed with engineer to determine any structural limitations on size and location.

A/c registers, sprinklers and access panel locations to be advised/confirmed.

Any cost variations must be approved by client prior to execution by shopfitter non-approved cost variations will not be met.

All plans approved by centre/landlord/planning authority to be kept on site at all times.

Shopfitter to supply hot water unit and appropriate fundish or drainage as required to comply with statutory requirements. Shopfitter to confirm usage with client prior to installation.

Each drawing from this documentation package to be read in conjunction with finishes schedule attached.

If not noted on detail/typical elevations refer to plan for finishes type and extent.

Paint a/c grilles, a/c diffusers and access panels the same as adjacent ceiling finish unless otherwise noted.

Appointed shopfitter is responsible for any sub-contractors working from these drawings.

Shopfitter to ensure subcontractors have the complete set of documentations prior to commencement of project.

Shopfitter to ensure all codes of the SCA are met from all subcontractors working on this project.

All tender prices to allow for all fitout works to comply with centre management condition of approval and fitout guide.

Works should be completed within the hours as instructed be landlord allow for out of hours construction is required

At completion of the building project, certificate qualified persons certifying that all the mechanical, hydraulic, plumbing, structural, electrical services the fire safety measures have been designed and installed in accordance with the required standards are to be provided by qualified persons.

Compliance Notes

All work to be in accordance with the National Construction Code (NCC). All relevant Australian standards, statutory regulations, local authority requirements and all conditions of councils or PCA's development / planning consent and the conditions of the construction certificate / building permit.

Construction of food premises is to comply with the latest requirements of the Food Act regulations, National Code for the construction and fitout of food premises and AS4674-2004 as appropriate and council's food code

All work to comply with the requirements of all other authorities and applicable laws including but not without limitation to any anti-discrimination legislation The Disability Discrimination Act and AS1428.1 2009 apply.

The NCC requires that disabled access is a key design consideration for both individuals stores and common areas. This documentation is not confirmation of and legal requirement and Cyber Services Group will not be liable for any failure to comply with legislation or other regulatory requirements.

Refrigerated chambers to be designed and installed in accordance with NCC G1.2 Openings in floor, shafts, openings for service installations and construction joints will be protected in accordance with C3 of the NCC.

Provide portable fire extinguishers to comply with AS2444-2001 and AS/NZS 1841 ensure extinguisher is provided adjacent to switchboard.

The provisions for egress will comply with part D1 of the NCC. a maximum of 20m to reach a point of choice in accordance with the deemed-to-satisfy provisions of the NCC.

All electricity/distribution boards, or central telecommunications distribution boards located in the path of travel, will be enclosed in non-combustible construction or a fire protective covering, with doors provided with smoke seals in accordance with clause D2.7 of the NCC.

Water proofing will be undertaken in accordance with clause F1.7 and AS3740-2010 Enclosed spaces are to be accessible in accordance with clause D3.3 of the NCC and AS1428.1 - 2009.

Any new artificial lighting is to comply with J6.2. Any new lighting must have power controls in accordance with J6.3 interior decorative and display lighting must comply with J6.4 and specification J6.

Emergency lighting is to comply with E4.2, E4.4 and AS2293.1 2005

Exit signs are to comply with E4.5, e4.8 and AS2293.1-2005

New exit directional signs within the tenancy must be installed in accordance with clause NCC NSW E4.6, E4.8 and AS2293.1-2005.

Mechanical ventilation to enclosed spaces shall be provided in accordance with NCC NSW F4.5(b) and AS1668.2-2012.

Hot water supply must be designed and installed in accordance with section 8 of AS/NZS 3500.4-2003

Joinery Finishes

For finishes to joinery and adjacent areas refer to the finishes schedule.

All loose furniture and joinery within existing perimeter built environment to be protected and masked off during commencement of any building works.

If not noted on detail/typical elevations refer to plan for finishes type and extent.

Shopfitter to ensure no sharp edges on any joinery items.

Conceal all fixings and screw cap all fixings unless inside cupboards.

Use adhesives, fasteners and fixings capable of transmitting the loads imposed and to ensure the rigidity of the assembly, without splitting or damaging materials.

Finish all exposed edges of the units with edge strips to match faces, unless otherwise noted.

All hinges to high quality metal fitting of a concealed type provide in number and location necessary to prevent dropping of the door.

All substrate surrounding cooking area as required to withstand/prevent heat transfer from all cooking equipment

All stainless-steel substrate must have folded edge in one piece and then seal all panel joints on top.

All substrates for benchtops, cupboards and joinery to be E0 or E1 MDF unless otherwise noted.

All substrates for benchtops and cupboards for food tenancies, wet areas and kitchens to be waterproof plywood or equal unless otherwise noted.

Wall Finishes

Any exposed blockwork walls to sheeted with plasterboard lining and painted in specific finish (unless otherwise specified) any framing required shall consider the requirements of AS1170 parts 1 and 4 where applicable.

Fire indices of materials, lining and surface finishes to comply with specification C1.10 of the NCC.

All glazing to comply with AS1288 - 2006. Glazing partitions to be provided with manifestations, or markings of glass between 700-1200mm above the floor with an opaque band 20mm in height to prevent the pane being mistaken as a doorway or opening.

Materials, linings and surface finishes used in the building will comply with the fire hazard properties in accordance with specification C1.10 of the NCC at completion of the project certification are to be submitted detailing compliance with this specification.

All wet areas are required to be protected by a waterproof membrane which is turned up a minimum of 300mm at the floor/wall junction.

Floor Finishes

Refer to plans for floor finishes.

All flooring is to be laid on clean, bound and appropriate substrates all flooring to be laid strictly in accordance with the manufacturer's instructions.

Upon completion floor is to be cleaned and sealed as per manufacturer's instructions.

Shopfitter to assess whether floor needs to be topped to ensure a level surface is achieved between the existing floor and specified new floor finish prior to installing specified flooring, a recessed aluminium flatbar or similar demising strip to be provided at all floor finish junctions.

Wet areas are to comply with the requirements of Part F1.7 of the NCC and protected in accordance with the relevant parts of AS3740.

100mm high coved skirting to all bch wall and floor junctions.

Refer to drawings for coving specification if applicable.

All flooring penetrations to be treated in accordance with clause C3.15 of the NCC in order to maintain the fire resistance level of the existing floor.

Ventilation

All rooms to have adequate ventilation as required ventilation is to comply with part F4.5 of the NCC.

Mechanical ventilation is to be installed in accordance with the relevant provisions of AS1668.2-2012

Requirements of the fire engineered solution in terms of mechanical ventilation will be strictly adhered to where applicable.

Equipment

All equipment on these drawings shown indicatively.

Contractor to confirm all dimensions and equipment requirements with client prior to installation.

All equipment to be installed as per manufacturer's s instructions.

Contractor to confirm supply and installation of ALL equipment with client.

Shopfitter to provide appropriate and approved cutouts in joinery items as required to allow for cable access.

Energy Efficiency

New air-conditioning not forming part of the base building shall comply with all parts section J5 of the NCC.

New air-conditioning ductwork in addition to that provided by base building to be insulated to achieve an R1.0 rating and is to be installed in accordance with AS/NZS 4859.1-2002.

Artificial lighting not forming part of the base building is to comply with section J6 of the NCC.

Door Notes

The unobstructed widths in the required exits, and in the paths of travel to the required exits except the doorways will not be less than 1000mm.

Required exit doors will be readily openable without a key from the side that faces a person requiring egress, by a single handed downward action on a single device which is located between 900mm and 1200mm above the floor, in accordance with clause D2.21 of the NCC.

Shop Front

All works to be independently supported from main structure and/or steel beam over only. Allow for movement in the structure, do not chase or penetrate structural components.

Provide certificates of structural adequacy from registered structural engineer on completion of works.

Clear laminate glazing to be set into frameless glazing channel adapter fully recessed at bottom and top.

Client

It is your responsibility to check this documentation prior to construction.

It is your responsibly to ensure all approvals and registration such as lodging your business with relevant the required Government and other authorities.

It is your responsibility to organise any required inspections prior to trading

Shopfitter

It is your responsibility to do an inspection while tendering to ensure on site conditions have accurately been documented. Cyber Services Group will not take responsibility for any site discrepancy that results in a variation to the client.

It is your responsibility to organise any site inspections required by the private certifier and/or council.

It is your responsibility to secure all required certificates to enable the release of the occupation certificate ensuring that the OC is issued on time prior to trading.

CYBER SERVICES GROUP WILL NOT TAKE RESPONSIBILITY FOR PRIVATE CERTIFIERS NOT ISSUING AN OC WHICH MAY RESULT IN DELAYING TRADE.

Kitchen and other food preparation areas designed and to be constructed in accordance with AS4674-2004 design, construction and fit-out of food premises.

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REAL PROPERTY DESCRIPTION

LOT No: 12 AREA: 74.3349ham²
RP No: SP186526
PARISH: TEVIOT
COUNTY: WARD
AUTHORITY: Scenic Rim

REVISION HISTORY

ISSUE	DATE	DESCRIPTION
A	30/07/21	Preliminary Issue_1
B	21/11/22	Working Drawings_1



CYBER SERVICES GROUP
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ACN: 620 422 166
6/1631 WYNNUM ROAD, TINGALPA
QUEENSLAND 4173
PH: (07) 3393 9159
cyberservicesgroup.com.au

DRAWING TITLE

GENERAL NOTES

CLIENT
Jimboomba Turf Farm
228 Brookland Road, Allenview Q 4285

SCALE
AS SHOWN @ A3

220610
JOB No.



B
REVISION

SHEET

1

PROPERTY DESCRIPTION

LOT No: 12
 STREET No: 228
 STREET NAME: Brookland Road
 LOCALITY: Allenview Q 4285
 PARISH: TEVIOT
 COUNTY: WARD
 RP: SP186526
 AREA: 74.3349ha

NOTES

USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS FROM PLANS

BUILDING ZONE IS TO BE CLEARED OF ANY VEGETATION AND TREES TO SUIT - CHECK ON SITE.

ALL SURVEY DATA TAKEN FROM DWG/PDF COPY BY OTHERS. CYBER DRAFTING & DESIGN TAKE NO RESPONSIBILITY OF THE PROPOSED SLAB & PAD LEVELS DUE TO THE POSSIBILITY OF IN-ACCURANCY OF THE DISCLOURE PLAN.

VERIFY ALL BEARINGS AND DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. ALL MISSING PEGS TO BE RE-INSTATED PRIOR TO ANY CONSTRUCTION. NOTIFY HEAD CONTRACTOR IMMEDIATELY OF ANY DESCREPIENCIES IN SETOUT DIMENSIONS. DO NOT START CONSTRUCTION UNTIL ALL BOUNDARIES ARE CONFIRMED.

ENSURE ALL DRAWINGS AND ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITIES PRIOR TO USE.

ALL SITE DRAINAGE TO BE CHARGED TO STREET D TO LEGAL POINT OF DISCHARGE IN COMPLIANCE WITH AS/NZ 3500 &/OR NCC 2019 VOL. 2, PARTS 3.1.2 & 3.5.2



LOCALITY PLAN
 Scale: 1:5000



PROPOSED SITE PLAN
 Scale: 1:1000

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DRAWING TITLE

PROPOSED SITE PLAN

CLIENT

Jimboomba Turf Farm
 228 Brookland Road, Allenview Q 4285

SCALE
 AS SHOWN @ A3

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B
 REVISION

SHEET

2

legend:

- AC air conditioning unit
- CS cleaners sink
- DF drinking fountain
- DW dishwasher space
- FHR fire hose reel
- FRZ freezer
- FW floor waste
- HC hose cock
- HB hand basin
- HP hot plate
- HWS hot water service
- OH overhead cupboards
- P timber post
- REF refrigerator
- SHR shower
- S stainless steel sink
- T laundry tub
- UBO under bench oven
- WM washing machine
- WC water closet

NOTE:
 SEE ATTACHED PAGES FOR DISABILITY REQUIREMENTS DETAILS:
 SIGNAGE - PG. 2
 TACTILE GROUND SURFACE INDICATORS - PG. 3
 DOORS, CIRCULATION SPACES & LUMINANCE CONTRAST - PG. 6
 DOOR CONTROLS - PG. 7
 SWITCHES AND GENERAL PURPOSE OUTLETS - PG. 7
 GRABRAILS - PG. 7
 ACCESSIBLE SANITARY COMPARTMENTS - PGs. 8 - 12



AREA	
ID	AREA
Office	276.7
Verandah	84.7
Porch	58.4
419.8 m²	

PROPOSED FLOOR PLAN

Scale: 1:100

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PROPOSED FLOOR PLAN

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3



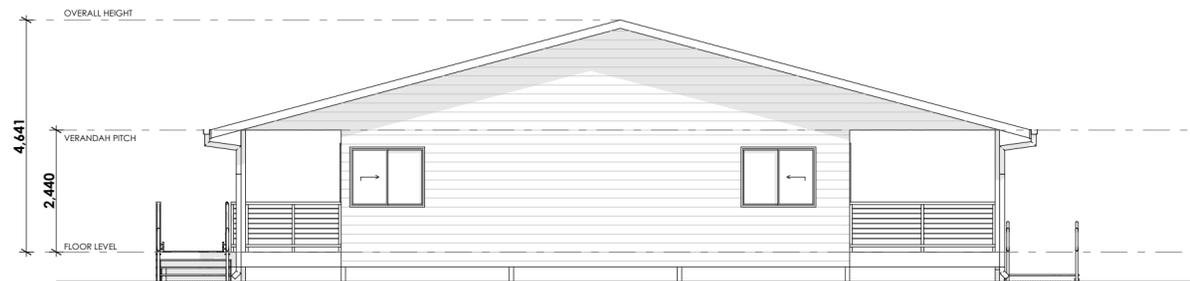
WEST ELEVATION
Scale: 1:100



NORTH ELEVATION
Scale: 1:100



EAST ELEVATION
Scale: 1:100



SOUTH ELEVATION
Scale: 1:100

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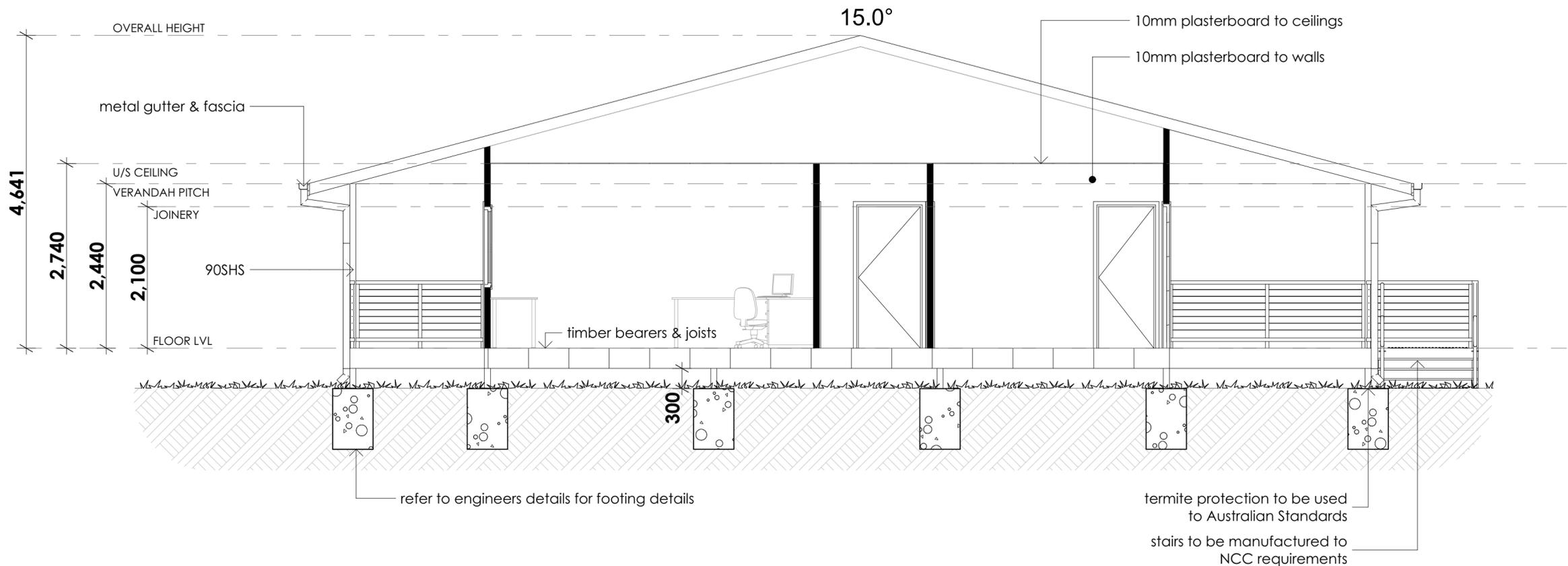
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SECTION

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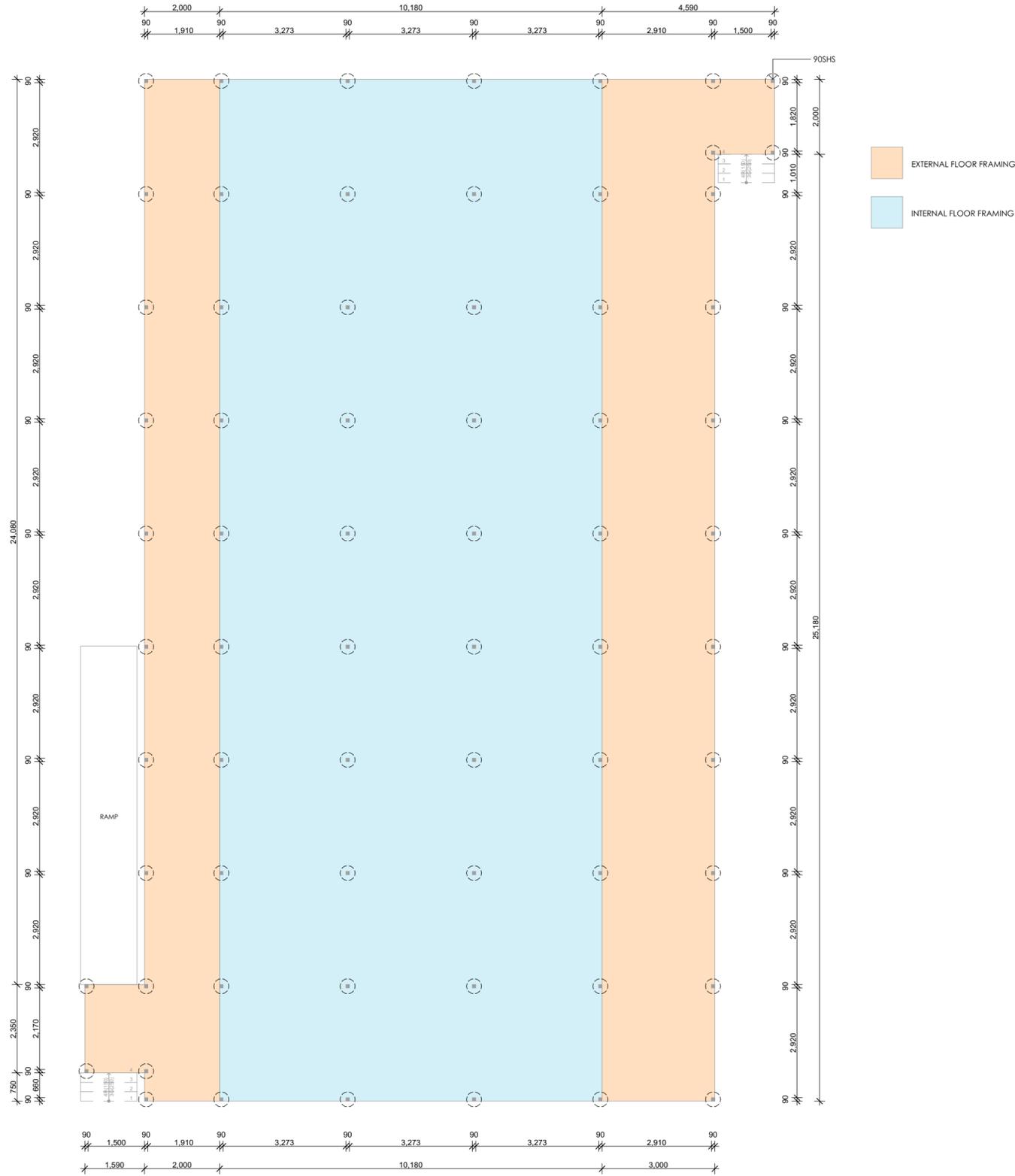
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SHEET
5

NOTE
 * REFER TO ENGINEERS REPORT FOR FOOTING & FLOOR FRAMING DETAILS.
 * JOIST AND BEARER LAYOUT IS INDICATIVE ONLY, AND PREFERENCE IS TO BE GIVEN TO ENGINEERS PLAN.

NOTE:
ALL EXPOSED TIMBER SHALL BE DURABILITY CLASS 1 (ABOVE GROUND), WITH ANY SAPWOOD H3 TREATED OR DURABILITY CLASS 2 + H3 TREATED OR TREATED TO LEVEL H3



FLOOR FRAMING & POST LAYOUT
 Scale: 1:100

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FLOOR FRAMING & POST LAYOUT
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6

NOTE

* ROOF DESIGN AND INSTALLATION MUST COMPLY WITH AS 1562.1
 * DPS MUST NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE.
 * DPS MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS & IF THE DP IS MORE THAN 1.2m FROM A VALLEY, PROVISIONS FOR OVERFLOW MUST BE MADE TO THE GUTTER.



ROOF PLAN
 Scale: 1:100

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ROOF PLAN

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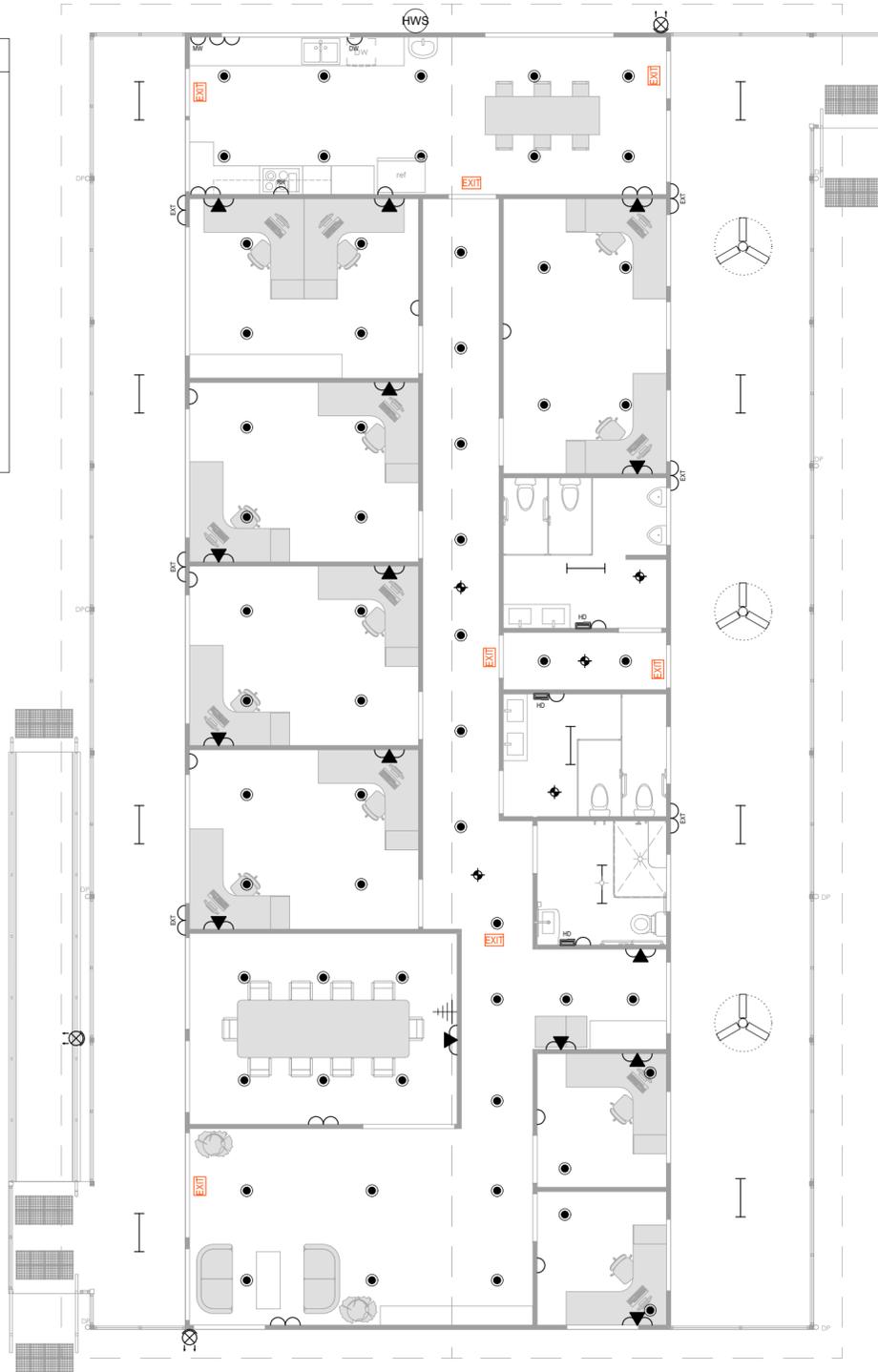


B
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SHEET

7

ELECTRICAL LEGEND		
SINGLE G.P.O.		CEILING FAN
DOUBLE G.P.O.		HAND DRYER
EXTERNAL GPO'S		T.V. POINT 300mm AFL U.N.O.
LED DOWNLIGHT		WI FI EXTENDER
SINGLE LED SURFACE MOUNTED		SMOKE DETECTOR
SPITFIRE (EMERGENCY LIGHTING)		PHONE POINT
WALL LIGHT		DATA POINT
STREET LIGHT, GM POLE		DATA PACK
EMERGENCY LIGHTING		DATA PACK
PENDANT LIGHT		HOT WATER SYSTEM
TWIN SPOT or FLOODLIGHT		MECHANICAL VENTILATION
LIGHTING CONTROL MOTION SENSOR		SECURITY CAMERA
2 WAY SWITCHING	2w	



ELECTRICAL PLAN

Scale: 1:100

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DRAWING TITLE
ELECTRICAL PLAN
CLIENT
Jimboomba Turf Farm
228 Brookland Road, Allenview Q 4285

SCALE
AS SHOWN @ A3
220610
JOB No.

B
REVISION

SHEET

8

Window List										
ID	W1	W2	W3	W4	W5	W6	W7	W8	W9	W10
Location	FOYER	FOYER	BOARDROOM	OFFICE 5	OFFICE 4	OFFICE 3	OFFICE 1	KITCHEN	KITCHEN	STAFF
Type	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER
2D Symbol										
3D Front View										
Height	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200
Width	1,500	1,500	1,500	2,700	2,700	2,700	2,700	1,500	2,700	2,700
Window head height	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100

ID	W11	W12	W13	W14	W15	W16	W17	W18	W19	W20
Location	STAFF	OFFICE 2	OFFICE 2	MALE FACILITIES	FEM. FACILITIES	UNISEX ACC BATH	PRINTING NOOK	OFFICE 6	OFFICE 7	OFFICE 7
Type	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER	SLIDER
2D Symbol										
3D Front View										
Height	1,200	1,200	1,200	600	600	600	1,200	1,200	1,200	1,200
Width	1,500	1,500	1,500	1,200	1,200	1,200	1,500	1,500	1,500	1,500
Window head height	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100

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REAL PROPERTY DESCRIPTION
LOT No: 12 AREA: 74.3349ham²
RP No: SP186526
PARISH: TEVIOT
COUNTY: WARD
AUTHORITY: Scenic Rim

REVISION HISTORY

ISSUE	DATE	DESCRIPTION
A	30/07/21	Preliminary Issue_1
B	21/11/22	Working Drawings_1

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CLIENT
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9

Door List										
ID	D1	D2	D3	D4	D5	D6	D7	D8	D9	D10
Location	FOYER / PORCH	BOARDROOM / PORCH	KITCHEN / PORCH	STAFF / VERANDAH	OFFICE 2 / VERANDAH	AIRLOCK / VERANDAH	KITCHEN / CORRIDOR	OFFICE 1 / CORRIDOR	OFFICE 2 / CORRIDOR	OFFICE 3 / CORRIDOR
Type	HINGED W/ SIDELIGHTS	DOUBLE HINGED	HINGED	HINGED	HINGED	HINGED	HINGED	HINGED	HINGED	HINGED
2D Symbol										
3D Front View										
W x H Size	1,020x2,072	1,840x2,100	920x2,100	920x2,100	920x2,100	820x2,100	920x2,100	920x2,100	920x2,100	920x2,100
Door head height	2,072	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100
Notes	THRESHOLD: TO COMPLY WITH AS 1428.1									

ID	D11	D12	D13	D14	D15	D16	D17	D18	D19
Location	MALE FACILITIES / AIRLOCK	AIRLOCK / CORRIDOR	OFFICE 4 / CORRIDOR	FEM. FACILITIES / AIRLOCK	UNISEX ACC BATH / CORRIDOR	OFFICE 5 / CORRIDOR	BOARDROOM / FOYER	OFFICE 6 / CORRIDOR	OFFICE 7 / CORRIDOR
Type	HINGED	HINGED	HINGED	HINGED	HINGED	HINGED	DOUBLE HINGED	HINGED	HINGED
2D Symbol									
3D Front View									
W x H Size	820x2,100	820x2,100	920x2,100	820x2,100	920x2,100	920x2,100	1,840x2,100	920x2,100	920x2,100
Door head height	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100
Notes									

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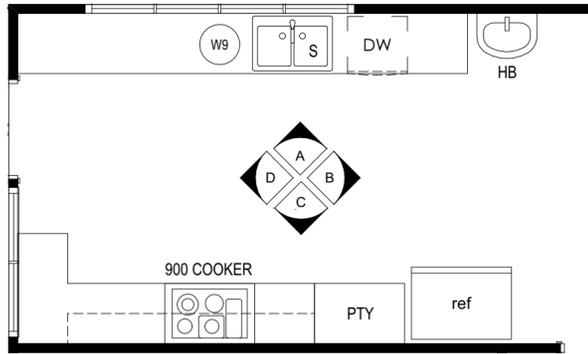
DRAWING TITLE
DOOR SCHEDULE
CLIENT
Jimboomba Turf Farm
228 Brookland Road, Allenview Q 4285

SCALE
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220610
JOB No.

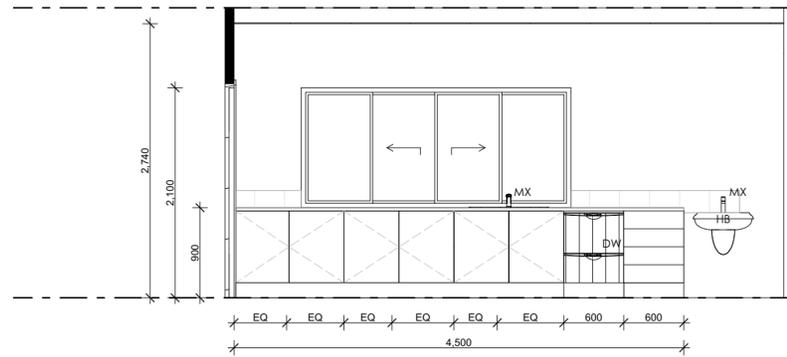
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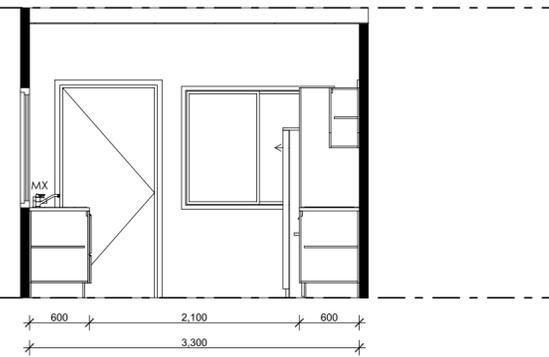
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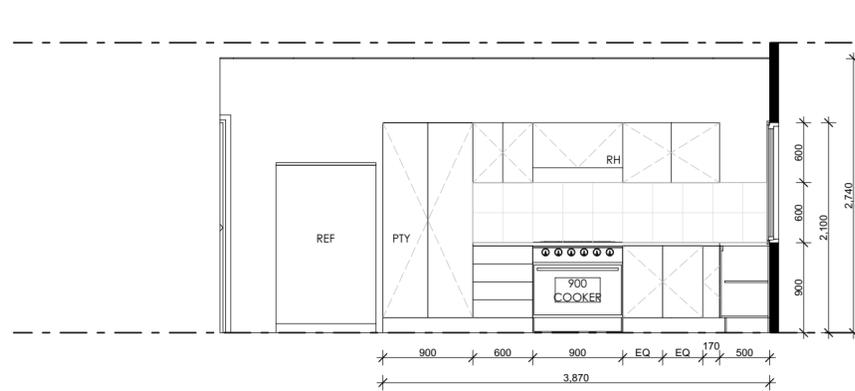
Kitchen Plan
Scale: 1:50



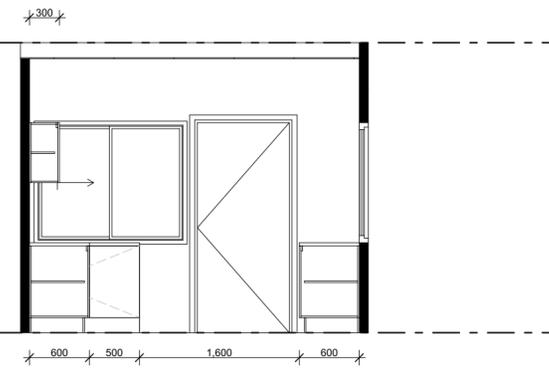
Kitchen A
Scale: 1:50



Kitchen B
Scale: 1:50



Kitchen C
Scale: 1:50



Kitchen D
Scale: 1:50

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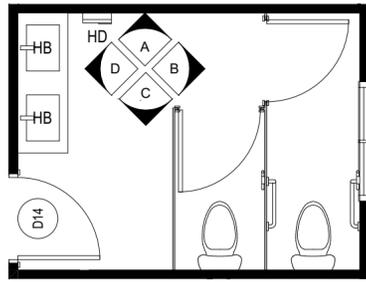
DRAWING TITLE
INTERNAL ELEVATIONS
CLIENT
Jimboomba Turf Farm
228 Brookland Road, Allenvue Q 4285

SCALE
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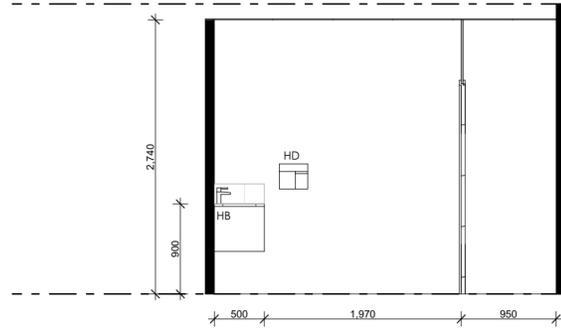
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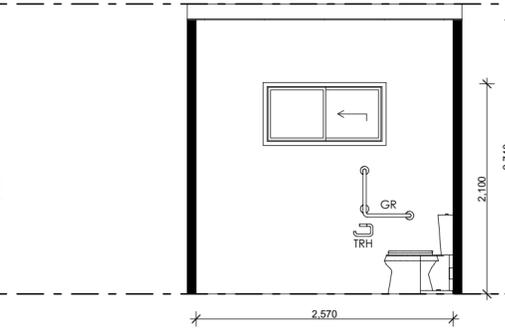
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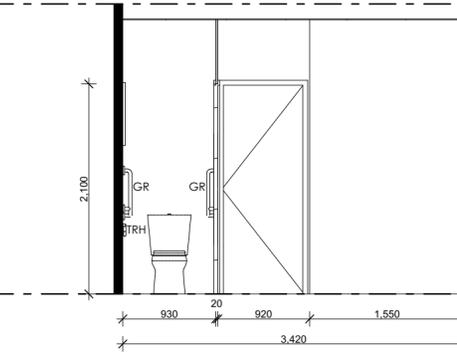
Female Facilities Plan
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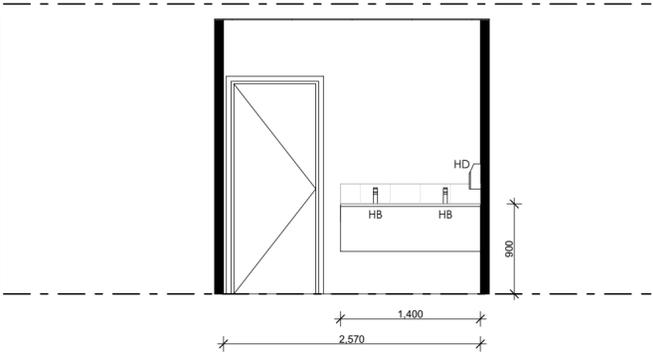
Female Facility A
Scale: 1:50



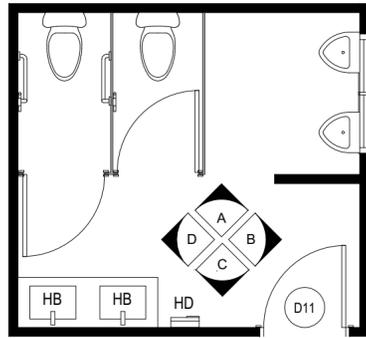
Female Facility B
Scale: 1:50



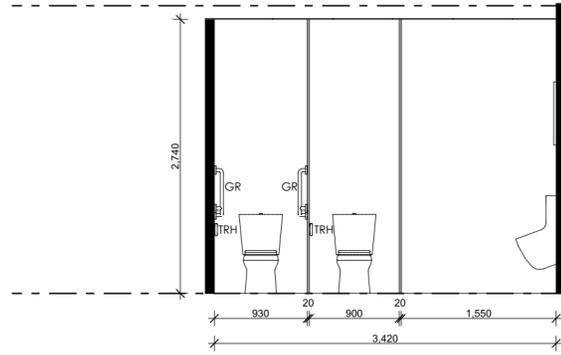
Female Facility C
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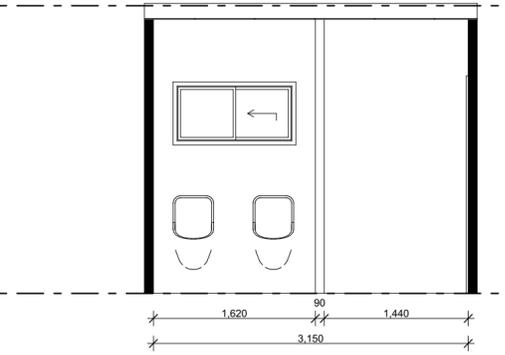
Female Facility D
Scale: 1:50



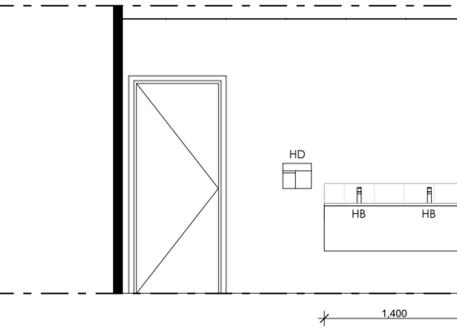
Male Facilities Plan
Scale: 1:50



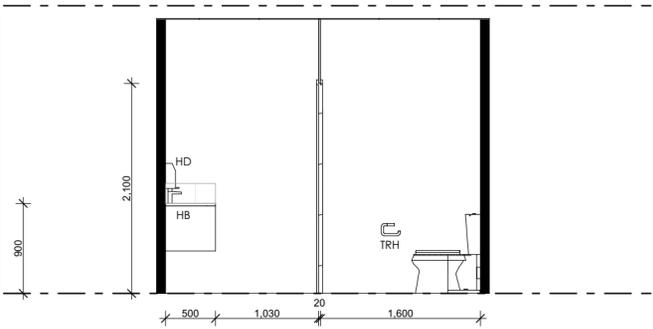
Male Facility A
Scale: 1:50



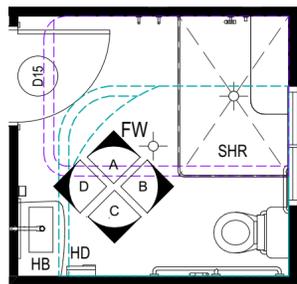
Male Facility B
Scale: 1:50



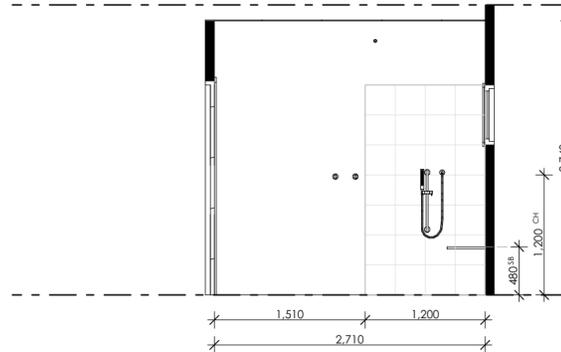
Male Facility C
Scale: 1:50



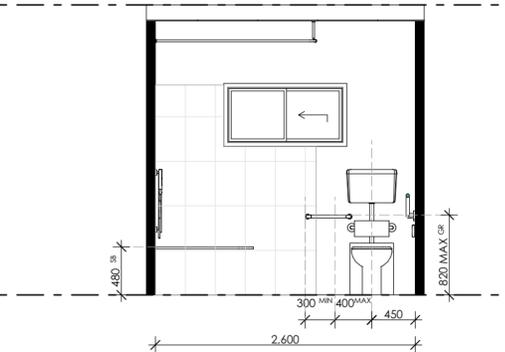
Male Facility D
Scale: 1:50



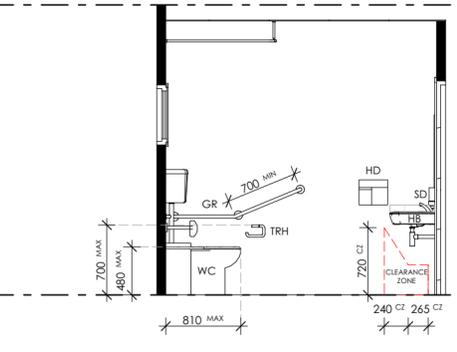
Unisex Acc Bath Plan
Scale: 1:50



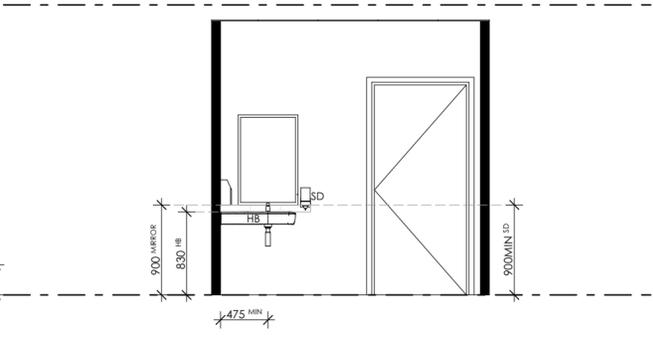
Unisex Acc Bath A
Scale: 1:50



Unisex Acc Bath B
Scale: 1:50



Unisex Acc Bath C
Scale: 1:50



Unisex Acc Bath D
Scale: 1:50

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REVISION

SHEET
12

OPERATIONAL WORK, HEALTH & SAFETY NOTES

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not yet been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work areas.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warnings signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 – it therefore may contain asbestos

1986 – it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful materials should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated areas should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, is used or intended to be used a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to the requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT

THIS INCLUDES (but is not excluded to):

OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS and DEMOLISHERS.

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REAL PROPERTY DESCRIPTION

LOT No: 12 AREA: 74.3349ham²
RP No: SP186526
PARISH: TEVIOT
COUNTY: WARD
AUTHORITY: Scenic Rim

REVISION HISTORY

ISSUE	DATE	DESCRIPTION
A	30/07/21	Preliminary Issue_1
B	21/11/22	Working Drawings_1



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DRAWING TITLE

OWHS NOTES

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SCALE
AS SHOWN @ A3



220610
JOB No.

B
REVISION

SHEET

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