



# DANYA COOK TOWN PLANNING

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M: 0422 051 263 E: [danyacook@danyacooktownplanning.com.au](mailto:danyacook@danyacooktownplanning.com.au)  
ABN: 65 945 966 479 | DANYA ELIZABETH COOK

7 August 2024

Office of the Coordinator-General  
State Development and Infrastructure  
PO Box 15517  
**CITY EAST QLD 4002**

Correspondence Sent Via Email: [sdainfo@coordinatorgeneral.qld.gov.au](mailto:sdainfo@coordinatorgeneral.qld.gov.au)

Attention: Planning and Services

Dear Sir / Madam,

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## RESPONSE TO THE OFFICE OF THE COORDINATOR-GENERAL'S INFORMATION REQUEST

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<b>Property Description:</b>	Lot 2 on RP83073
<b>Property Address:</b>	51 River Road, Fairymead QLD 4670
<b>Proposed Development:</b>	SDA Application for a Material Change of Use for a Dwelling House and Shed
<b>Local Government:</b>	Bundaberg Regional Council
<b>State Development Area (SDA):</b>	Bundaberg SDA
<b>Planning Instrument:</b>	Bundaberg SDA Development Scheme 2017
<b>Office of the Coordinator-General Reference:</b>	OUT24/928
<b>DC Town Planning Reference:</b>	2024-02
<b>On Behalf Of:</b>	Liza Graney and Paul Jacobsen

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### 1.0 PREAMBLE

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With reference to the above development application, we hereby provide a response to the Office of the Coordinator-General's Information Request, dated 1 March 2024, before the extended due date, pursuant to Schedule 2, Part 2, Section 2.1 (4) of the Bundaberg SDA Development Scheme (December 2017).

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### 2.0 INFORMATION REQUESTED

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#### Application Material

#### 1. Bundaberg SDA Development Scheme

Section 4.0 of the Planning Report provides a brief assessment of the precinct development intent for the Rural Uses Precinct of the Bundaberg SDA Development Scheme; however, it does not provide an assessment against the Strategic Vision, Overall Objectives, and SDA Wide Assessment criteria of the Bundaberg SDA Development Scheme.

The proponent is requested to provide an updated Planning Report with a full assessment against the Strategic Vision, Overall Objectives, and SDA Wide Assessment criteria of the Bundaberg SDA Development Scheme, particularly Section 2.5.3 (Natural Hazards – Flooding).

#### Applicant's Response

In response to Item 1 of the Office of the Coordinator-General's Information Request, please refer to the assessment of the Strategic Vision, Overall Objectives and SDA Wide Assessment Criteria of the Bundaberg SDA Development Scheme included at **Appendix A**.

#### 2. State Planning Matters

The Planning Report does not provide an assessment of the relevant State Planning matters for the subject site. The relevant State Interests can be identified on the Queensland Government's State Planning Policy Interactive Mapping System and the Queensland Governments Development Assessment Mapping System.

The proponent is requested to provide an updated Planning Report that identifies any relevant state interests for the subject lot and an assessment of these state interests in accordance with section 2.5.9 of the Bundaberg SDA Development Scheme.



## **Applicant's Response**

In response to Item 2 of the Office of the Coordinator-General's Information Request, in accordance with Section 2.5.9 of the Bundaberg SDA Development Scheme, an assessment of relevant state interests for the subject site is provided below.

### **SARA DA Mapping**

A review of the Development Assessment Mapping identifies the following state interests relevant to the land:

- Coastal Protection: - Coastal Area – Erosion Prone Area, and Coastal Area – High Storm Tide Inundation Area.
- Water Resources: - Water Resource Planning Area Boundaries.

In accordance with Schedule 10 of the Planning Regulation 2017, it is determined that the application does not require referral to the State Assessment and Referral Agency (SARA).

### **SPP Assessment Benchmark Mapping**

A review of the State Planning Policy Assessment Benchmark Mapping identifies the following state interests relevant to the land:

#### *Agriculture*

- Important Agricultural Areas.
- Agricultural Land Classification - Class A and B.

#### *Development and Construction*

- State Development Area.

#### *Natural Hazards Risk and Resilience*

- Flood Hazard Area - Level 1 - Queensland Floodplain Assessment Overlay.
- Flood Hazard Area - Local Government Flood Mapping Area.
- Bushfire Prone Area: - Potential Impact Buffer.
- Erosion Prone Area.
- High Storm Tide Inundation Area.

#### *Strategic Airports and Aviation Facilities*

- Obstacle limitation surface area
- Wildlife hazard buffer zone

In response to the Natural Hazards Risk and Resilience State Planning Policy triggers, the Dwelling House has been strategically designed and sited to respond to the flooding constraints of the land, as well as bushfire prone, erosion prone, and storm tide inundation areas.

Furthermore, hazardous chemicals will be located and stored on-site to minimise risk of inundation and dispersion.

### **3. Site Plan / Elevations**

*The Planning Report includes Appendix B – various hand drawn floor plans, elevations (not drawn to scale), and a site plan with a shed and carport included. The site plan does not show the location of the dwelling house and shed and any other existing or proposed buildings on site. Appendix C includes shed plans prepared by Bushman Sheds and it is not known if these plans are for the shed or dwelling house.*

*The proponent is requested to provide:*

- Updated plans for the dwelling house and shed that all include a title, are drawn to scale and dated.
- An overall site plan showing the location of the dwelling house and shed and other existing or proposed buildings on the subject lot.
- Elevation drawings for the dwelling house including the building height and the required habitable floor height to address the flood risk to the site.

## **Applicant's Response**

In response to Item 3 of the Office of the Coordinator-General's Information Request, please refer to the Design Plans prepared by Kred Design & Draft Building Designer included at **Appendix B**.



## **Scope of the Proposed Development**

### **4. Proposed Use**

The Planning Report states that the owner of the property keeps sheep and pigs at the property for farming purposes.

The proponent is requested to provide additional detail about the intended use of the site and confirm whether or not the 'farming purposes' is a material change of use of premises. Advise if the subject site will be used for agricultural purposes.

If so, provide detail on the scale and intensity of the agricultural purposes on the site, including:

- Number of animals kept on site.
- Production rate.
- If animals are sold and if so, how they are distributed.
- Impacts associated with the proposed use (on and off site).

### **Applicant's Response**

In response to Item 4 of the Office of the Coordinator-General's Information Request, it is confirmed that reference to 'farming purposes' within the Planning Report does not relate to a Material Change of Use of Premises.

Schedule 2 of the Planning Act 2016 defines a Material Change of Use as:

*Material Change of Use of Premises, means any of the following that a regulation made under Section 284(2)(a) does not prescribe to be minor change of use—*

- (a) the start of a new use of the premises;*
- (b) the re-establishment on the premises of a use that has been abandoned;*
- (c) a material increase in the intensity or scale of the use of the premises.*

The Office of the Coordinator-General is advised that the landowners keep 10 sheep at the property, which are bred for personal use, two (2) horses for recreational use, two (2) geese, 12 chickens for eggs, and two (2) cattle dogs. Pigs are no longer kept on-site.

No distribution is undertaken; the animals kept on-site are for personal use and food supply.

### **3.0 SUMMARY**

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In accordance with Schedule 2, Part 2, Section 2.1 (4) of the Bundaberg SDA Development Scheme (December 2017), we hereby provide the Office of the Coordinator-General with a response to all of the information requested and ask that the Office of the Coordinator-General proceed with the assessment of the development application. We trust the Office of the Coordinator-General will issue a favourable Decision Notice in due course and should the Office of the Coordinator-General have any questions with respect to the above, please do not hesitate to contact me.

Kind regards,

A handwritten signature in cursive script that reads 'Danya Cook'.

Danya Cook B.Urb.Reg.Plan, MPIA, CPP  
Director / Principal Town Planner

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# DANYA COOK TOWN PLANNING

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Appendix A

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## **Strategic Vision, Overall Objectives and SDA Wide Assessment Criteria of the Bundaberg SDA Development Scheme**

Prepared by Danya Cook Town Planning



# DANYA COOK TOWN PLANNING

## Strategic Vision

Strategic Vision	Consideration of the Vision	Compliance
<i>(a) encourage the establishment of industrial and port related development of regional, State or national significance, and other associated industries, facilities, and local utilities to facilitate economic development and job creation</i>	The use of the land accommodates a Dwelling House and Shed, which does not conflict with the preferred development intent for the Rural Uses Precinct.	Yes
<i>(b) promote the efficient use of land to maximise development opportunity</i>	The use of the land accommodates a Dwelling House and Shed, which does not conflict with the preferred development intent for the Rural Uses Precinct.	Yes
<i>(c) facilitate sustainable development which supports the diversification and resilience of Bundaberg, the Wide Bay Burnett region and the State economy and maintains environmental and community values</i>	The use of the land does not conflict with the sustainable development of Bundaberg, the Wide Bay Burnett region, and the State economy	Yes
<i>(d) manage and plan for the establishment of industry, infrastructure and port related development to support the continued growth of the Port of Bundaberg as a multi-commodity port</i>	The use of the land does not conflict with the continued growth of Bundaberg.	Yes
<i>(e) provide a coordinated approach to the provision of infrastructure and maximise efficient use of existing and future infrastructure to service industry, the Port of Bundaberg and the Wide Bay Burnett region</i>	The proposed development does not impact the planned function of infrastructure.	Yes
<i>(f) ensure development does not compromise the long-term development opportunities within the SDA</i>	The proposed development does not compromise the long-term development of the SDA.	Yes

## Overall Objectives

Objective	Consideration of the Objective	Compliance
<i>(a) be consistent with the strategic vision for the Bundaberg SDA, the development precincts and the precinct's preferred development intent</i>	The development of a Dwelling House and Shed at the subject site does not negatively impact the preferred development intent of the Rural Uses Precinct and remains in character with adjoining and surrounding development.	Yes
<i>(b) maximise the efficient, effective and adaptable use of land, and existing and planned infrastructure</i>	The proposed development does not impact the planned function of infrastructure.	Yes
<i>(c) minimise the mitigate adverse impacts to sensitive uses and environmental values outside the Bundaberg SDA</i>	The proposed development does not result in adverse impacts to sensitive uses and environmental values.	Yes
<i>(d) support the provision of multi-user infrastructure to create efficiencies and minimise environmental impacts</i>	The proposed development does not impact multi-user infrastructure.	Not applicable
<i>(e) achieve adequate levels of immunity from flood and coastal processes to protect the safety and security of people and property, whilst avoiding adverse changes outside of the SDA</i>	The Dwelling House has been designed and sited to respond to the flooding constraints of the land.	Yes
<i>(f) create economies of scale and scope for industry by facilitating clustering</i>	The proposed development remains in character with surrounding uses.	Yes
<i>(g) support the continued viable use of land for agricultural production, whilst providing opportunities for diversification to other industries where appropriately mitigated</i>	The use of the land accommodates a Dwelling House and Shed, which does not conflict with the preferred development intent for the Rural Uses Precinct.	Yes



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Objective	Consideration of the Objective	Compliance
(h) support the continued utilisation of viable Key Resource Areas and protect haulage routes from incompatible land uses	Key Resource Areas and haulage routes will not be impacted by the proposed development.	Not applicable
(i) recognise and manage or mitigate impacts on environmental values, including (but not limited to) biodiversity, the coastal environment, Great Sandy Marine Park, water and wetland values associated habitats consistent with current best practice	Environmental values will not be degraded due to the proposed development.	Yes
(j) appropriately conserve and consider cultural heritage values and community values, consistent with current best practice.	Cultural heritage and community values will not be impacted by the proposed development.	Yes

## SDA Wide Assessment Criteria in the Bundaberg SDA

No.	Criteria	Consideration of the Criteria	Compliance
<b>2.5.1 Services</b>			
1	Development is designed to maximise efficiency and minimise cost for telecommunications, transport, water, wastewater, recycled water, and energy networks.	The subject site is provided with an appropriate level of service infrastructure, both reticulated and on-site.	Yes
2	Development plans for and manages the impacts of the development on existing and future known telecommunications, transport, water, wastewater, recycled water, and energy networks.	The proposed development does not impact the planned function of existing and future known telecommunications, transport, water, wastewater, recycled water, and energy networks.	Not applicable
3	Development is adequately serviced by telecommunications, transport, water, wastewater, recycled water, and energy networks as relevant.	The subject site is provided with an appropriate level of service infrastructure, both reticulated and on-site.	Yes
4	The use of reticulated town water supply is minimised using alternative water supply sources where appropriate.	The site is not serviced by reticulated town water.	Not applicable
<b>2.5.2 Emissions</b>			
1	Development is designed to avoid or otherwise minimise emissions that will adversely affect the health and safety, wellbeing and amenity of communities and individuals.	Adverse emissions will not be generated by the development.	Not applicable
2	Development supports the achievement of the relevant acoustic and air quality objectives of the Environment Protection (Noise) Policy 2019 and the Environment Protection (Air) Policy 2019.	Adverse noise and air emissions will not be generated by the development.	Not applicable
3	Development is to minimise potential impacts arising from (but not limited to) spray drift, odour, noise, dust, smoke or ash emissions on sensitive uses, for example by providing for effective separation between land uses or management at the source.	Adverse noise and air emissions will not be generated by the development.	Not applicable
<b>2.5.3 Natural Hazards - Flooding</b>			
1	Development, in accordance with current best practice, is to: (a) achieve an appropriate level of flood immunity and (b) not adversely affect existing flow rates, flood heights or cause or contribute to other flooding impacts on upstream, downstream or adjacent properties. This includes potential impacts from changes to stormwater flows and local flooding.	The proposed Dwelling House has been designed and sited to best respond to the flooding constraints of the land.	Yes
2	Development is located, designed and constructed to avoid or mitigate potential flood damage, ensure no net worsening and avoid risks to public safety.	The proposed Dwelling House has been designed and sited to best respond to the flooding constraints of the land.	Yes
3	Development ensures that prior to or during a flood event, the self-evacuation of occupants and visitors to a safety shelter within the site, or evacuation via safe routes from the hazard to an area of safety is provided.	Rainfall and river levels are monitored within the catchment; hence, a Flooding Early Warning System is in place. Flood peaks occur in Bundaberg several days after rainfall in the upper catchment.	Yes



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4	Development does not adversely impact on flood immunity of the road corridors which provide for evacuation in a flood.	The proposed development does not impact flood immunity of road corridors.	Yes
5	The risk of, and the adverse impacts from flooding are avoided, minimised or mitigated to protect people, property and the environment.	The proposed Dwelling House has been designed and sited to best respond to the flooding constraints of the land.	Yes
6	Flood mitigation measures consider environmental impacts including potential impacts on fish passage.	The proposed development does not impact fish passage.	Not applicable
7	Development maintains the safety of noxious and hazardous materials and chemicals manufactured or stored in bulk during flood events.	Hazardous chemicals will be located and stored on-site to minimise risk of inundation and dispersion.	Yes
8	Development provides for efficient evacuation and access for evacuation resources including emergency services during flood events, or otherwise plans for the prospect and impact of isolation or hindered evacuation during flooding.	Rainfall and river levels are monitored within the catchment; hence, a Flooding Early Warning System is in place. Flood peaks occur in Bundaberg several days after rainfall in the upper catchment.	Yes
<b>2.5.4 Contaminated Land</b>			
1	Development on land likely to be contaminated or recorded on the Environmental Management Register or Contaminated Land Register does not adversely impact on human health or the environment by exposure, management, or movement of contaminants.	The site does not comprise contaminated land.	Not applicable
2	Where required, develop a strategy to manage any existing contamination and the potential for additional contamination such that human health and the environment are not adversely affected.	The site does not comprise contaminated land.	Not applicable
<b>2.5.5 Acid Sulfate Soils</b>			
1	Development, in accordance with current best practice, is to: (a) avoid the disturbance of acid sulfate soils (ASS) or (b) ensure that the disturbance of ASS avoids or minimises the mobilisation and release of acid and metal contaminants.	The development will avoid the disturbance of Acid Sulfate Soils (ASS).	Not applicable
<b>2.5.6 Transport</b>			
1	Increased traffic arising from development is either able to be accommodated within existing road networks or works are undertaken to minimise adverse impacts caused or contributed to by the development on existing and future uses and road networks.	The proposed development does not impact the planned function of the road hierarchy.	Yes
2	Local road networks within the Bundaberg SDA are to be designed to accommodate the proposed vehicle type and predicted traffic volumes associated with the development and precincts.	The proposed development does not impact the planned function of the road hierarchy.	Yes
3	Development is designed to facilitate safe and efficient vehicular ingress and egress and does not unduly impact on the safe and efficient operation of external road, rail, or transport infrastructure.	The subject site features a safe and efficient vehicular ingress and egress arrangement that does not unduly impact the safe and efficient operation of external road infrastructure.	Yes
4	Access shall be provided from the local road network with direct access from State Controlled Roads avoided where practicable.	River Road is sealed and is well connected with the surrounding road network. River Road is not classified as a State-Controlled Road.	Yes
5	Adequate car parking for number and nature of vehicles expected are provided.	Adequate vehicle parking is accommodated on-site. Designated spaces are not required for a development of this nature.	Yes
6	The safety, efficiency and operational integrity of the Bundaberg Airport are protected from adverse impacts from development within the SDA.	The proposed development does not impact the Bundaberg Airport.	Yes
<b>2.5.7 Environment, Cultural Heritage, and Community</b>			



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1	Environmental values, cultural heritage values, and community values of the premises on which the development is undertaken and immediate surrounds are identified and managed, consistent with current best practice.	Environmental, cultural heritage, and community values are not impacted by the proposed development.	Not applicable
2	Development is designed to avoid the clearing of remnant vegetation or where avoidance is not possible, minimise clearing to: (a) avoid land degradation (b) avoid the loss of biodiversity and (c) maintain ecological processes.	Clearing of remnant vegetation is not required to facilitate the development.	Not applicable
3	Development avoids significant adverse environmental impacts on matters of national or State significance, or where significant impacts cannot be avoided are minimised. Any residual significant adverse impacts are offset in accordance with the relevant Commonwealth and Queensland environmental offset framework.	The development does not impact matters of national or State significance.	Not applicable
4	Where the development triggers the need for a buffer to mitigate the impacts of the development, that buffer must be accommodated within the development site.	A buffer is not required.	Not applicable
5	Development in wetland protection areas is designed, constructed and operated to prevent the loss or degradation of wetland environmental values.	The site is not identified to feature wetland protection.	Not applicable
<b>2.5.8 Engineering Standards</b>			
1	Development is to be designed and constructed in accordance with the relevant engineering standards (and any subsequent revisions to the relevant standards) stated in Table 6 of the development scheme, unless it can be demonstrated that an alternative solution that at least produces the same outcome is appropriate.	The Dwelling House and Shed have been constructed in accordance with relevant engineering standards.	Yes
<b>2.5.9 Other Government Matters</b>			
1	Development is to demonstrate consistency with other relevant legislative requirements that may be required for the development to proceed and operate and to the extent practicable, be consistent with regional plans, the State Planning Policy and the State Development Assessment Provisions where the State interests articulated by these instruments are likely to be affected by the development.	Refer to response to Item 2 of the Coordinator-General's Information Request.	Yes
2	Development is to avoid or minimise adverse impacts on existing or proposed State or local infrastructure.	The proposed development does not impact State or local infrastructure.	Yes
<b>2.5.10 Energy and Water Efficiency</b>			
1	Building, site design and layout maximises energy efficiency having regard to: (a) building orientation and passive solar design (b) maximising opportunities for cross ventilation (c) appropriate shade treatments and (d) landscaping treatments to the western side of the building.	Energy efficiency principles will be implemented on-site.	Yes
2	Water efficiency is optimised through the use of alternative water supply sources, including: (a) rain water harvesting and (b) recycled water sources.	Water efficiency principles will be implemented on-site.	Yes
<b>2.5.11 Visual Impacts</b>			
1	Visual impacts of buildings and any retaining structures are minimised through building design and landscaping when viewed from a publicly accessible viewpoint such as major roads.	The development will not result in a negative visual impact for the local area.	Not applicable



## DANYA COOK TOWN PLANNING

2	Development incorporates high quality urban design and landscape treatments particularly for those areas highly visible from public roads.	The development will not result in a negative visual impact for the local area.	Not applicable
<b>2.5.12 Built Form</b>			
1	The scale, character and built form of development contributes to a high standard of amenity.	The Design Plans are of a scale, character, and built form that contributes to a high standard of amenity.	Yes
2	Development must incorporate crime prevention through environmental design principles.	The design of the Dwelling House does not hinder opportunity for casual surveillance and incorporates environmental design principles.	Yes
<b>2.5.13 Landscaping</b>			
1	Development provides landscaping that: (a) minimises the visual impacts of the development (b) incorporates at least 50% local species (c) is low maintenance and (d) maintains and enhances significant vegetation.	Landscaping is not a typical conditional requirement imposed on the construction of a Dwelling House. Garden and landscaped areas will be established around the Dwelling House at the landowner's discretion.	Not applicable
<b>2.5.14 Natural Hazards - Other</b>			
1	Development, in accordance with current best practice: (a) identifies relevant natural hazards that may impact upon the development (b) appropriately manages risk associated with the identified hazards (c) avoids increasing the severity of the natural hazard and (d) for coastal hazards, avoids erosion prone areas wherever possible.	The proposed Dwelling House has been designed and sited to best respond to the flooding constraints of the land.	Yes
<b>2.5.15 Lighting Impacts</b>			
1	Lighting associated with the construction and operation of development is designed to limit the impacts on aquatic wildlife, including turtles and migratory species.	Lighting will not impact aquatic wildlife, including turtles, and migratory species.	Not applicable



# DANYA COOK TOWN PLANNING

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Appendix B

## Design Plans

Prepared by Kred Design & Draft Building Designer

# AS CONSTRUCTED RESIDENCE & CARPORT PROPOSED VERANDAH

P JACOBSEN & L GRANEY  
51 RIVER ROAD  
LOT 2 on RP83073  
FAIRYMED

PLAN TYPE	PAGE
COVER	1
SITE PLAN	2
GROUND FLOOR PLAN	3
FIRST FLOOR PLAN	4
ELEVATIONS A & B	5
ELEVATIONS C & D	6
FOUNDATION PLAN	7
MID FLOOR SYSTEM	8
SECTION A	9
SECTION B	10
SAFTEY REPORT	11

#### NOTES-

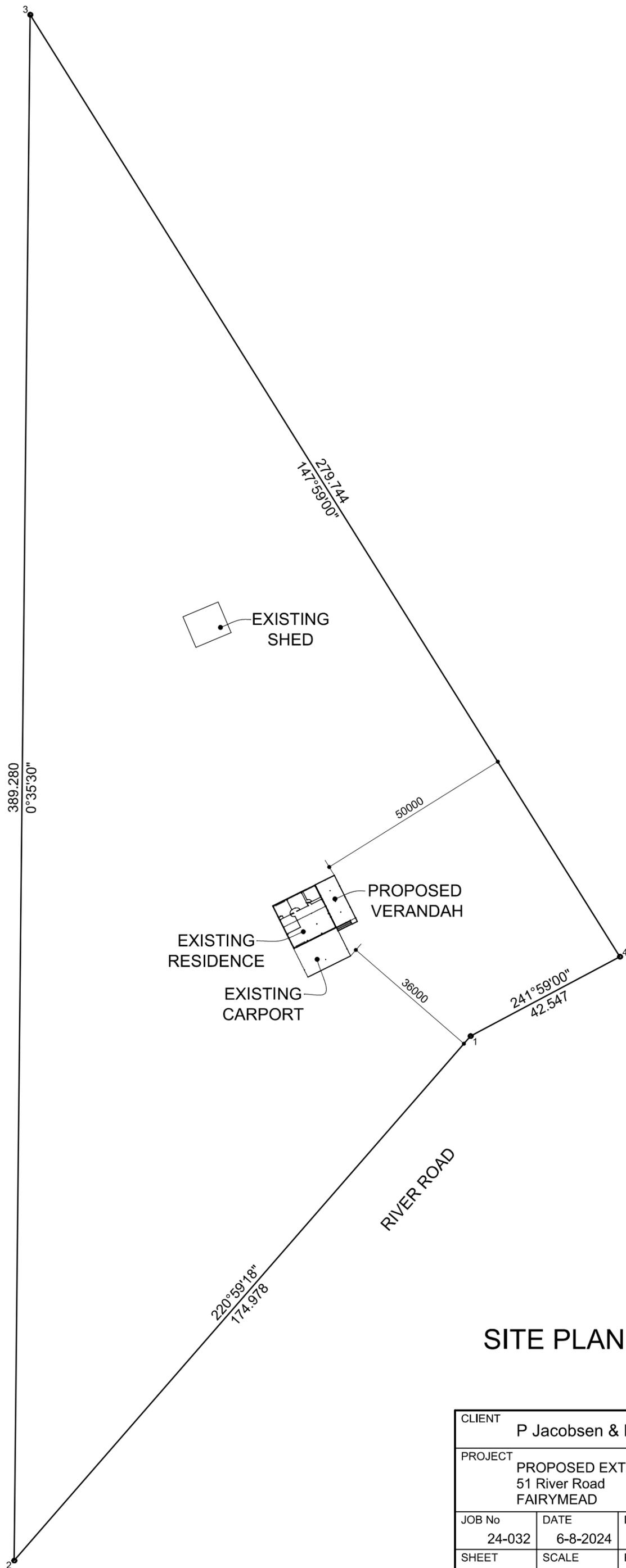
• These plans to be read in conjunction with:

- Structural engineers drawings and specifications
- Energy efficiency assessment report
- Waste water design documentation
- Bushman Sheds plans & specifications (Job No:BSTDG 26233M)
- All other manufacturers documentation relevant to this project

• All work to be accordance with:

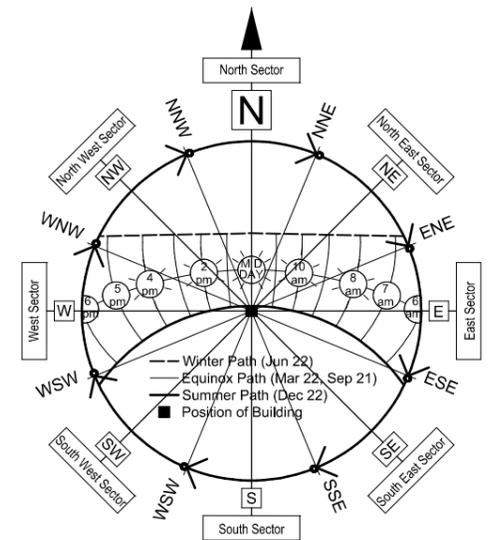
- National Construction Code (NCC) Volume 2
- Relevant Australian Standards
- Relevant Queensland Deleopment Codes (QDC)
- Relevant Building Regulations and Acts
- Local Town Planning Scheme and Policies
- All other manufacturers documentation relevant to this project

CLIENT P Jacobsen & L Graney			 <p><small>kreddesign.com.au ABN 27 183 519 092 QBCC 1048243</small></p>
PROJECT PROPOSED EXTENSION 51 River Road FAIRYMED			
JOB No 24-032	DATE 6-8-2024	DRAWN Keith Redshaw	Ph 0429 067 237 12 Hayman Pl, Innes Park 4670 <a href="mailto:k.redshaw@kreddesign.com.au">k.redshaw@kreddesign.com.au</a>
SHEET 1 of 11	SCALE NTS	PAGE A3	



**NOTES-**

- All boundary clearances shown are to be verified by builder at setout and prior to any construction commencing.
- Excavation and filling being carried out on this site to be in accordance with the Standard Building Regulation 2021 and the Queensland Development Code - NMP 1.7.
- Sediment control to comply with Part 16 of the Queensland Development Code.
- Footings located 2.0m within a sewer main, stormwater drain and water main to be in accordance with the Queensland Development Code - NMP 1.4 A1 (a).
- Driveways shall be installed in accordance with the Queensland Development Code - NMP 1.1.
- Any variation to earthworks/drainage at construction stage is to comply with Council policy on earthworks/drainage for residential sites.
- Ground surface to be sloped 1:20 (min) away from building for 1000mm (min) and to a point where ponding will not occur near the building.
- Sewerage plan to be in accordance with Council prepared plan. Waste water system to engineers specification.
- Stormwater to be taken to street to council/shire requirements. Collected stormwater to be taken to rain water tank.
- Stormwater drainage shall be installed in accordance with the Queensland Development Code - NMP 1.8.
- Eaves gutter and downpipe design rainfall intensity 266mm/h (5 minute rainfall, once in 20 year average recurrence). Refer to NCC Vol 2 Part 7.4.
- Minimum 115mm quad gutter to be used to suit roof catchment area of 40m<sup>2</sup>, 12m maximum gutter length per downpipe, minimum slope of 1:500.
- Eaves gutter overflow measures design rainfall intensity 339mm/h (5 minute rainfall, once in 100 year average recurrence). Lysaght/Metroll/Stramit 115 quad gutter with 1.5mm controlled gutter back gap (1.2 L/s/m) to be used with a minimum of 10mm gap from the back of the gutter to the top of the fascia. Maximum sheet length of 12m. Refer to Parametric Developments Appendix-5 (Table 1) of the research report and the NCC Vol 2 Part 7.4.
- Down pipes (dp) to be 100x50 or 90Ø P.V.C.
- Stormwater pipes to be 90Ø or 100Ø P.V.C.
- Maximum roof area stormwater discharge for Downpipe or stormwater drainage pipe:-
  - 90mmØ DP: 40m<sup>2</sup> roof area;
  - 90mmØ PVC S/W pipe: 155m<sup>2</sup> roof area, minimum grade 1:50  
105m<sup>2</sup> roof area, minimum grade 1:00
  - 100mmØ PVC S/W pipe: 200m<sup>2</sup> roof area, minimum grade 1:50  
140m<sup>2</sup> roof area, minimum grade 1:00
- Exact location of stormwater pipes subject to on site suitable location. To be verified by builder.



**SITE PLAN**

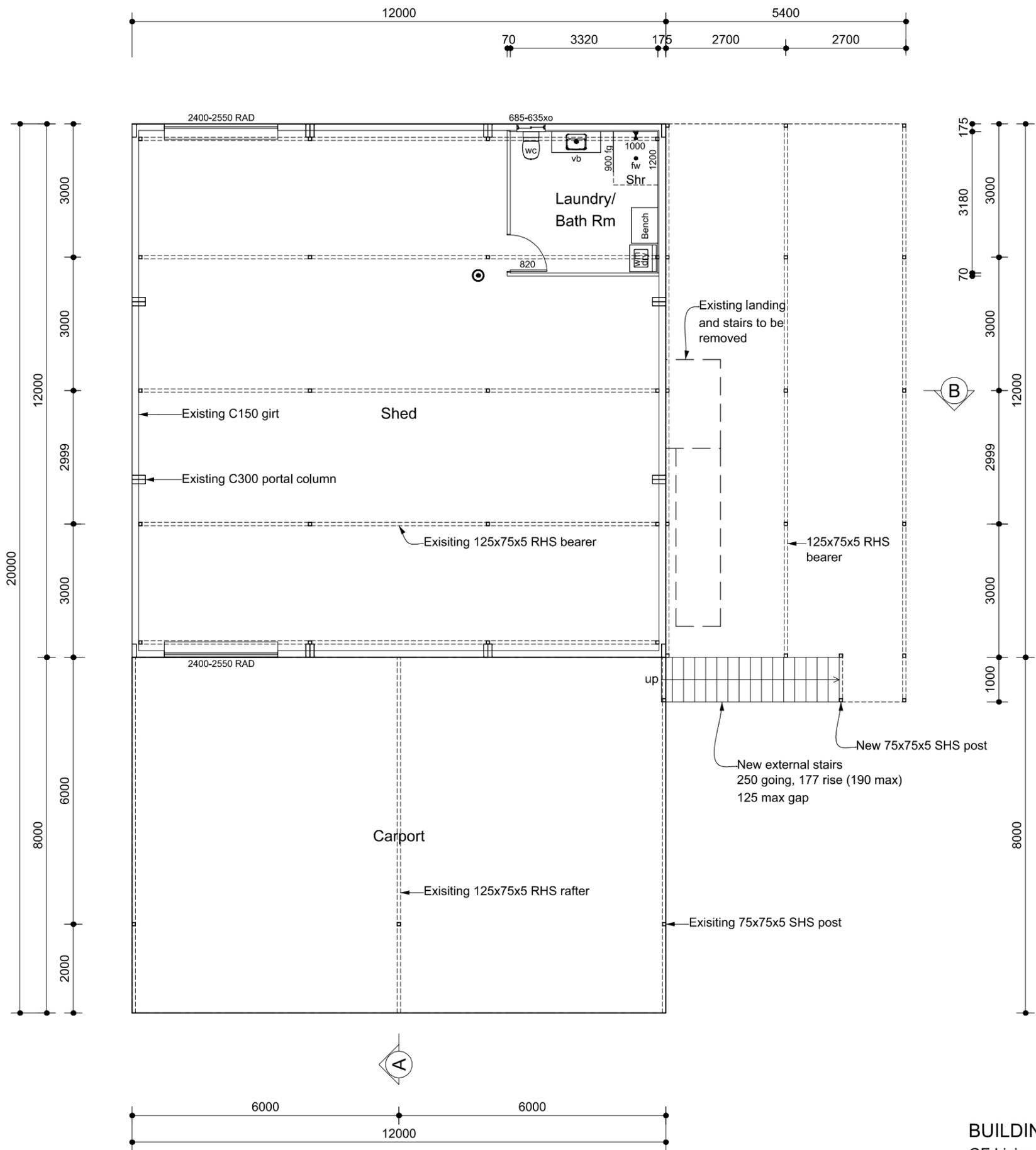
PROPERTY DESCRIPTION-  
 LOT 2  
 RP83073  
 LOCAL GOV: BUNDABERG R.C.  
 LOCALITY: FAIRYMEAD  
 SITE AREA: 2.801 ha

CLIENT P Jacobsen & L Graney		
PROJECT PROPOSED EXTENSION 51 River Road FAIRYMEAD		
JOB No 24-032	DATE 6-8-2024	DRAWN Keith Redshaw
SHEET 2 of 11	SCALE 1:1000	PAGE A3

kreddesign.com.au  
 ABN 27 183 519 092  
 QBCC 1048243

**KRED**  
 DESIGN & DRAFT  
 BUILDING DESIGNER

Ph 0429 067 237  
 12 Hayman Pl, Innes Park 4670  
 k.redshaw@kreddesign.com.au



**NOTES-**

- All dimensions and details to be checked by Builder.
- 70mm internal wall frame.
- All construction in accordance with the National Construction Code (NCC) Volume 2, AS1684.3 and manufacturers specifications.
- Termite protection to comply with AS3660.1 and Part 3.4 of the NCC Vol. 2.
- Smoke alarms to be hard wired and installed as per AS3786 and Part 9.5 of the NCC Vol. 2.
- Wet area waterproofing to comply with AS3740 and Part 10.2 of the NCC Vol. 2.
- All kitchen, bathroom, sanitary and laundry exhaust systems must have a minimum flow rate (25 L/s bathroom, sanitary compartment or 40L/s kitchen, laundry) and discharge directly via a shaft or duct to outdoor air.
- Shower floor wastes in accordance with 9.5 of the NCC Vol. 2. The minimum continuous fall of a floor plane to the waste must be 1:80 and the maximum continuous fall of a floor plane to the waste must be 1:50.
- Stair construction shall be constructed in accordance with Part 11.2 of the NCC Vol. 2.
- Handrail & balustrading shall be constructed in accordance with Part 11.3 of the NCC Vol. 2.

**GROUND FLOOR PLAN**

**BUILDING AREAS:**

GF Living	144.0m <sup>2</sup>
Carport	99.0m <sup>2</sup>
FF Living	144.0m <sup>2</sup>
Verandah	66.3m <sup>2</sup>
<b>TOTAL</b>	<b>450.3m<sup>2</sup></b>

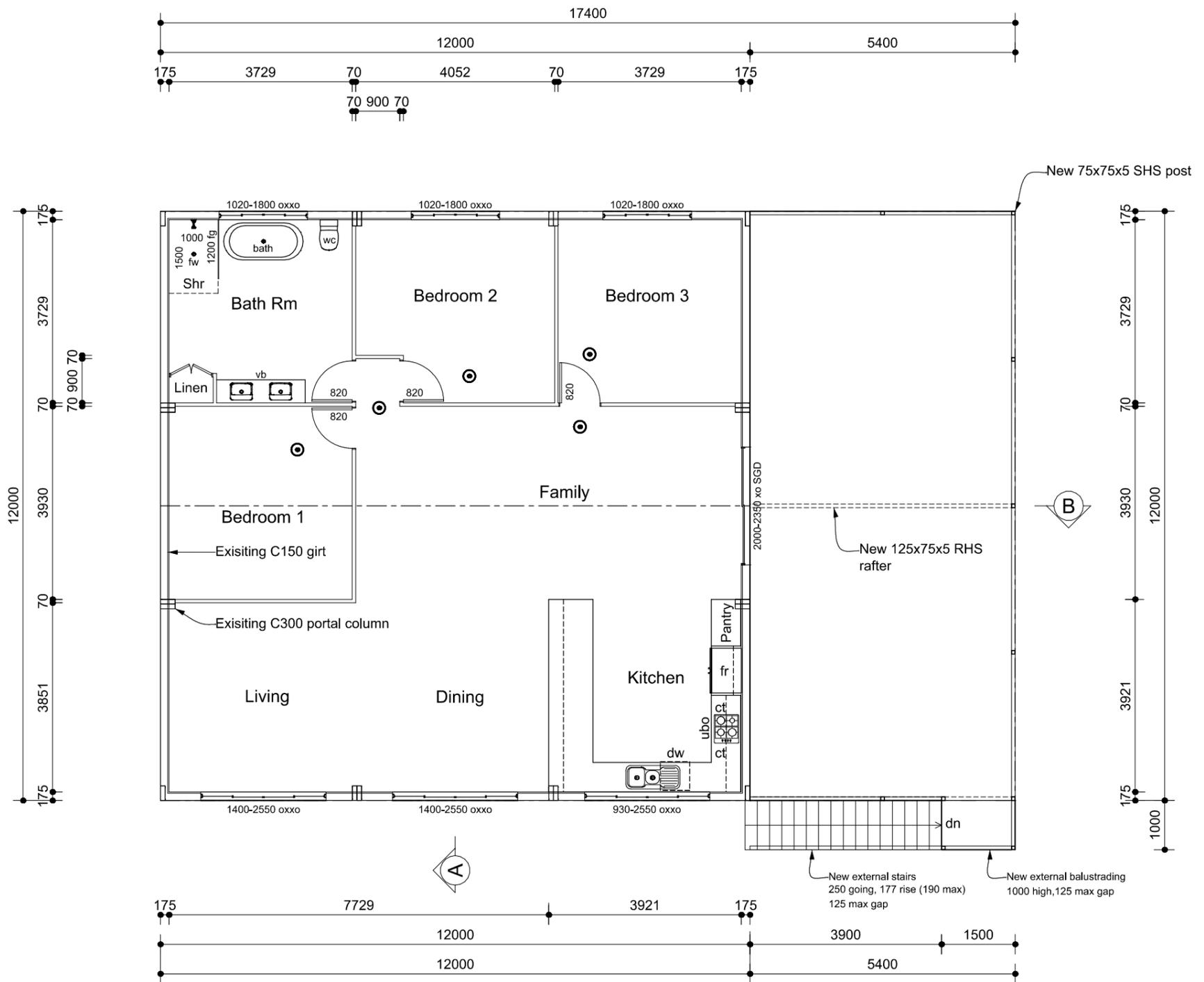
**LEGEND:**

- dry Clothes Drying Space
- fg Fixed Glass
- wc Toilet
- wm Washing Machine Space
- vb Vanity Basin

CLIENT <b>P Jacobsen &amp; L Graney</b>		
PROJECT PROPOSED EXTENSION 51 River Road FAIRYMEAD		
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**BUILDING AREAS:**

GF Living	144.0m <sup>2</sup>
Carport	99.0m <sup>2</sup>
FF Living	144.0m <sup>2</sup>
Verandah	66.3m <sup>2</sup>
<b>TOTAL</b>	<b>450.3m<sup>2</sup></b>

**NOTES-**

- All dimensions and details to be checked by Builder.
- 70mm internal wall frame.
- All construction in accordance with the National Construction Code (NCC) Volume 2, AS1684.3 and manufacturers specifications.
- Termite protection to comply with AS3660.1 and Part 3.4 of the NCC Vol. 2.
- Smoke alarms to be hard wired and installed as per AS3786 and Part 9.5 of the NCC Vol. 2.
- Wet area waterproofing to comply with AS3740 and Part 10.2 of the NCC Vol. 2.
- All kitchen, bathroom, sanitary and laundry exhaust systems must have a minimum flow rate (25 L/s bathroom, sanitary compartment or 40L/s kitchen, laundry) and discharge directly via a shaft or duct to outdoor air.
- Shower floor wastes in accordance with 9.5 of the NCC Vol. 2. The minimum continuous fall of a floor plane to the waste must be 1:80 and the maximum continuous fall of a floor plane to the waste must be 1:50.
- Stair construction shall be constructed in accordance with Part 11.2 of the NCC Vol. 2.
- Handrail & balustrading shall be constructed in accordance with Part 11.3 of the NCC Vol. 2.

**FIRST FLOOR PLAN**

**LEGEND:**

- ct Cook Top
- dry Clothes Drying Space
- dw Dishwasher Space
- fr Refrigerator Space
- fg Fixed Glass
- rh Range Hood
- ubo Under Bench Oven
- wc Toilet
- wm Washing Machine Space
- vb Vanity Basin

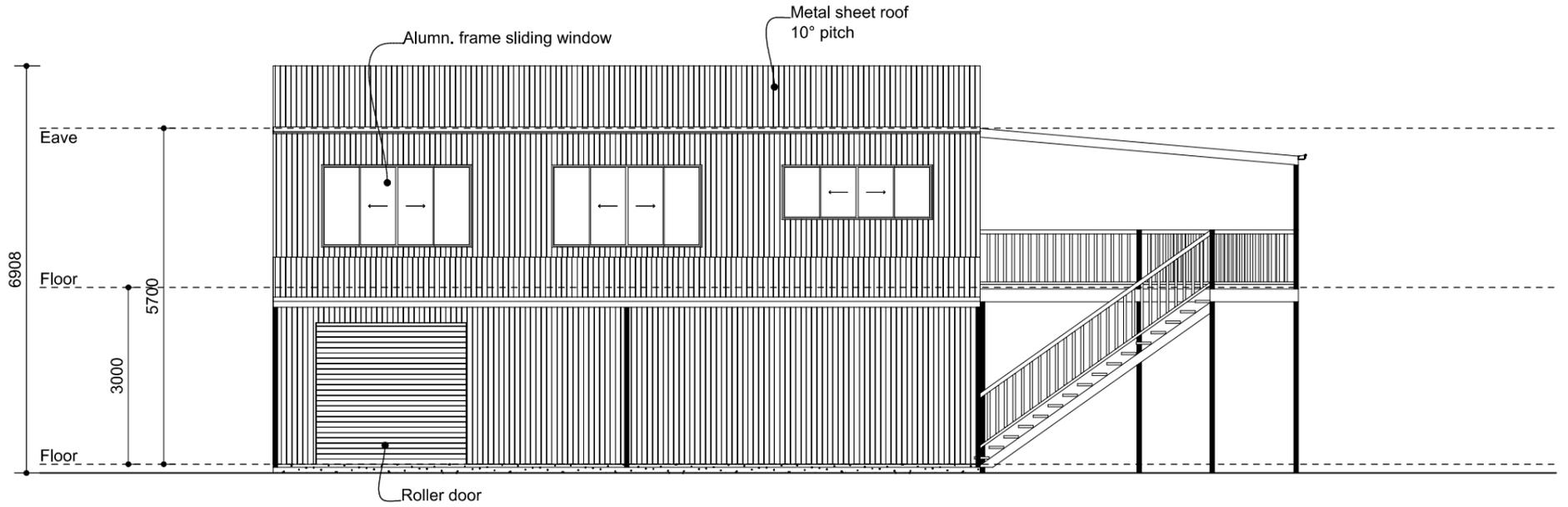
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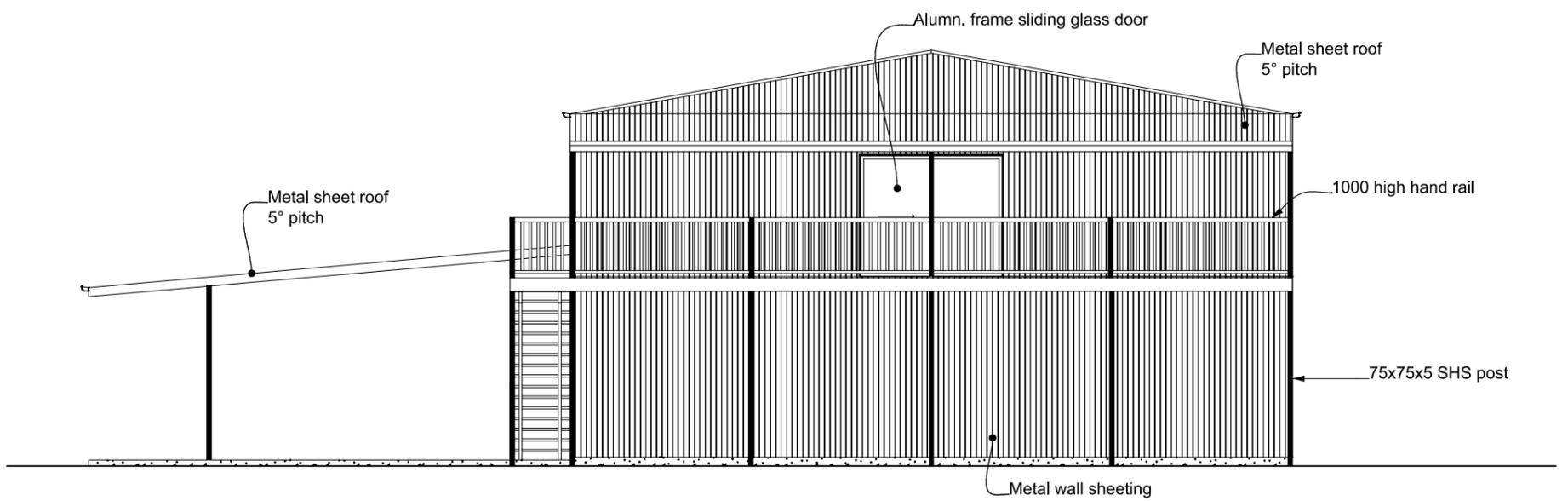
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**NOTES-**

- Stair construction shall be constructed in accordance with Part 11.2 of the NCC.
- Handrail & balustrading shall be constructed in accordance with Part 11.3 of the NCC.
- A bedroom window opening must be provided with protection, if the floor below the window is 2m or more above the surface beneath and has an opening less than 1.7m above the floor. Refer to Parts 11.3.7 & 11.3.8 of the NCC.



**ELEVATION A - SOUTH EAST**



**ELEVATION B - NORTH EAST**

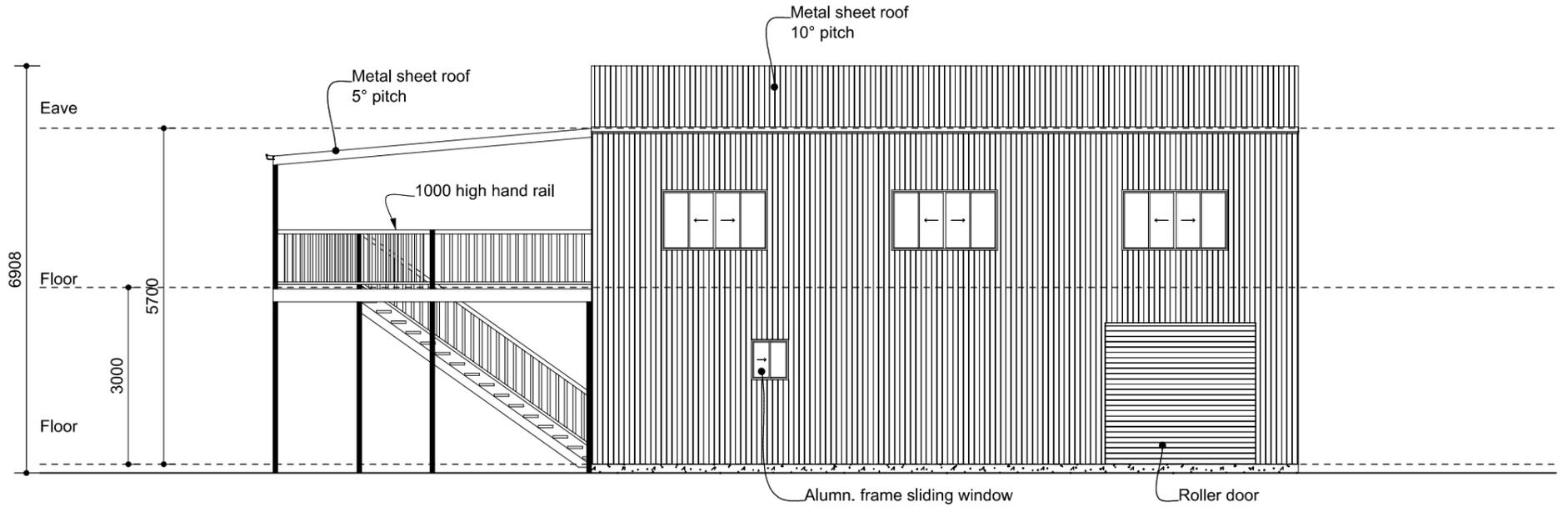
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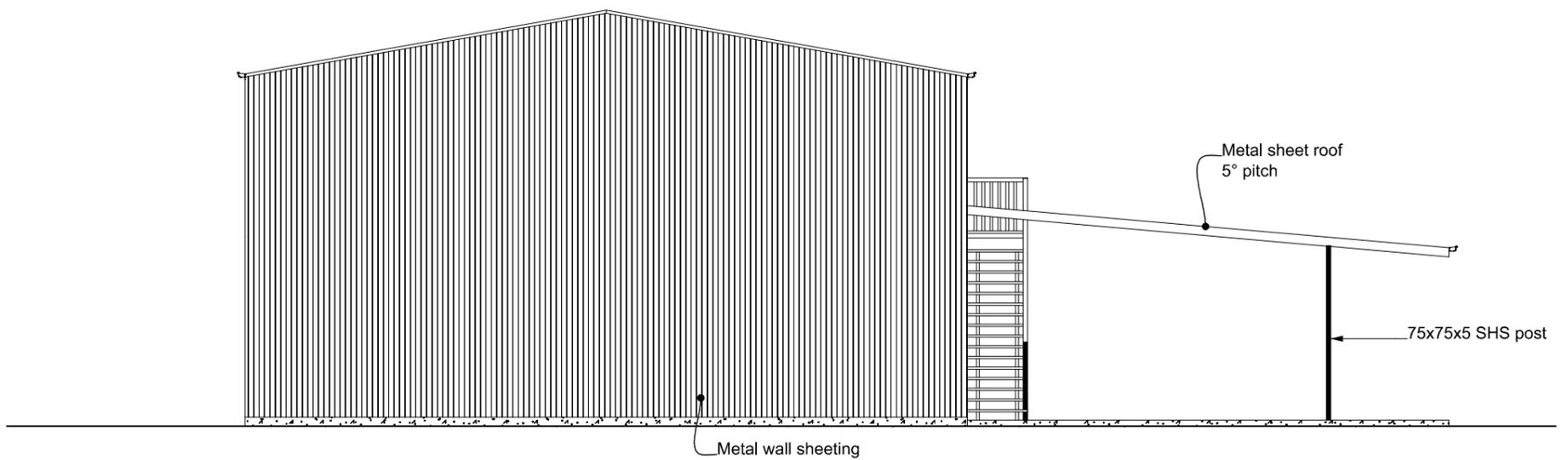
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**NOTES-**

- Stair construction shall be constructed in accordance with Part 11.2 of the NCC.
- Handrail & balustrading shall be constructed in accordance with Part 11.3 of the NCC.
- A bedroom window opening must be provided with protection, if the floor below the window is 2m or more above the surface beneath and has an opening less than 1.7m above the floor. Refer to Parts 11.3.7 & 11.3.8 of the NCC.



**ELEVATION C - NORTH WEST**



**ELEVATION D - SOUTH WEST**

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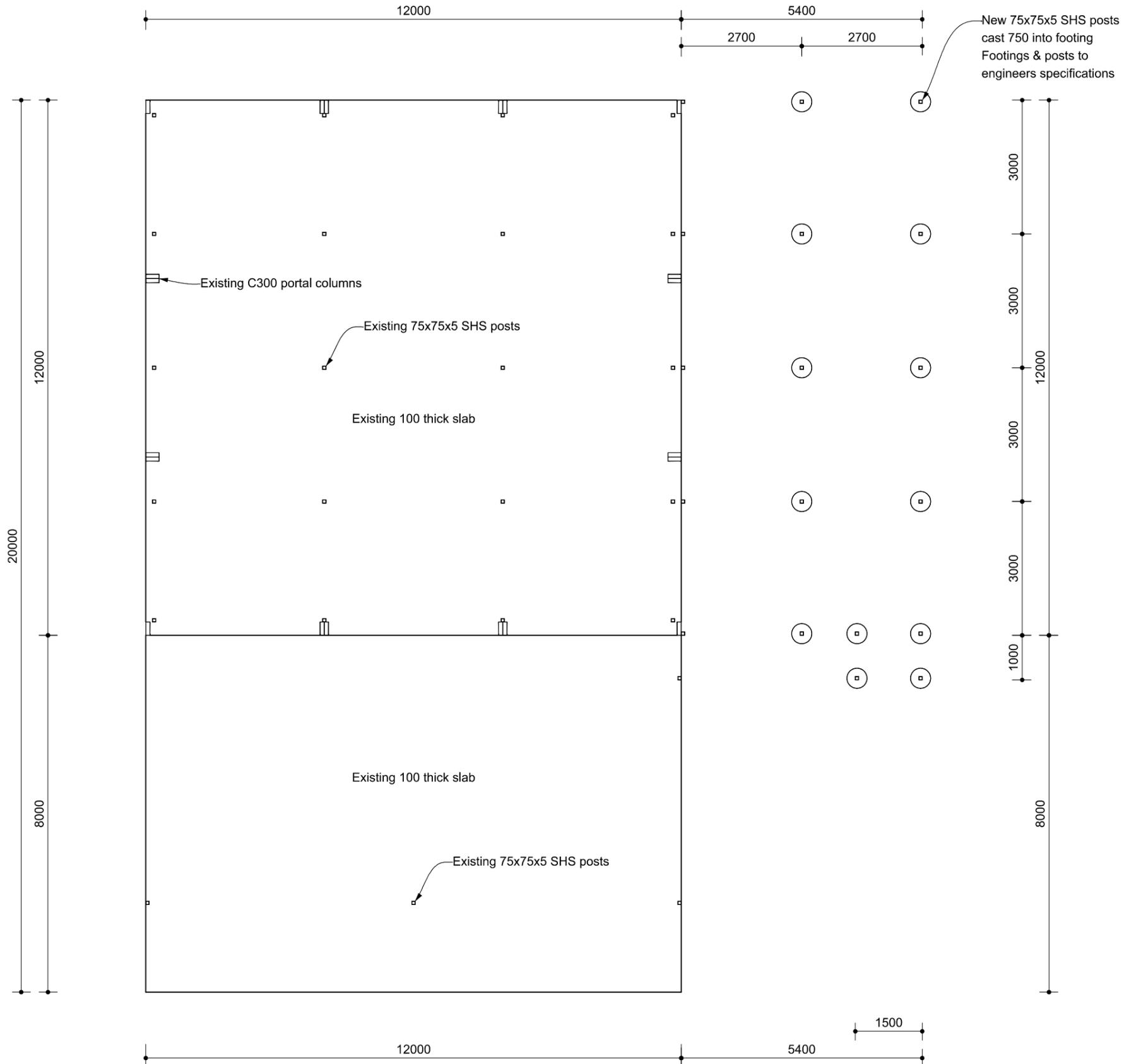
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**NOTES-**

- All dimensions and details to be checked by builder
- Site classification in accordance with AS2870 and Part 4.2.2 of the NCC Vol. 2.
- Concrete footings & floor slab to engineers drawings and specifications, AS 2870 and Part 4.2 of the NCC Vol. 2.
- Termite protection to comply with AS3660.1 and Part 3.4 of the NCC Vol. 2.
- FFL to be built 300mm above flood heights as outlined in the Council Town Planning Scheme.
- Exact floor levels subject to on site suitability. To be verified by builder. 30mm min. step down is required to outdoor areas from main floor.

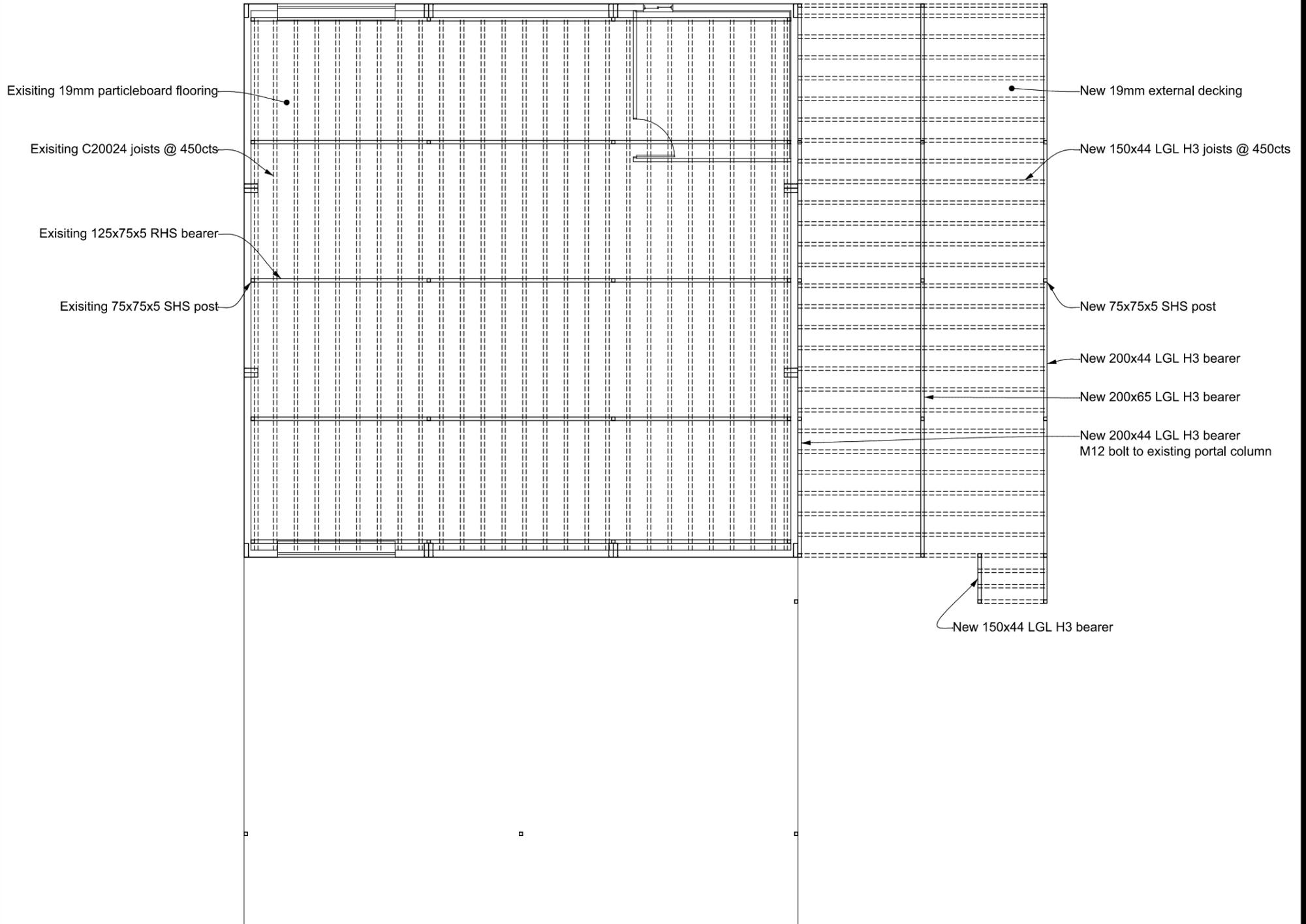


**FOUNDATION LAYOUT**

CLIENT		P Jacobsen & L Graney		 <small>kreddesign.com.au</small> <small>ABN 27 183 519 092</small> <small>QBCC 1048243</small>
PROJECT		PROPOSED EXTENSION 51 River Road FAIRYMEAD		
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**NOTES-**

- All dimensions and details to be checked by builder
- Site classification in accordance with AS2870 and Part 4.2.2 of the NCC Vol. 2.
- Existing steel posts, bearers & joist sizes and connection details to be confirmed by others.
- Termite protection to comply with AS3660.1 and Part 3.4 of the NCC Vol. 2.
- FFL to be built 300mm above flood heights as outlined in the Council Town Planning Scheme.
- Exact floor levels subject to on site suitability. To be verified by builder. 30mm min. step down is required to outdoor areas from main floor.
- Particleboard fixed to manufacturers specifications.

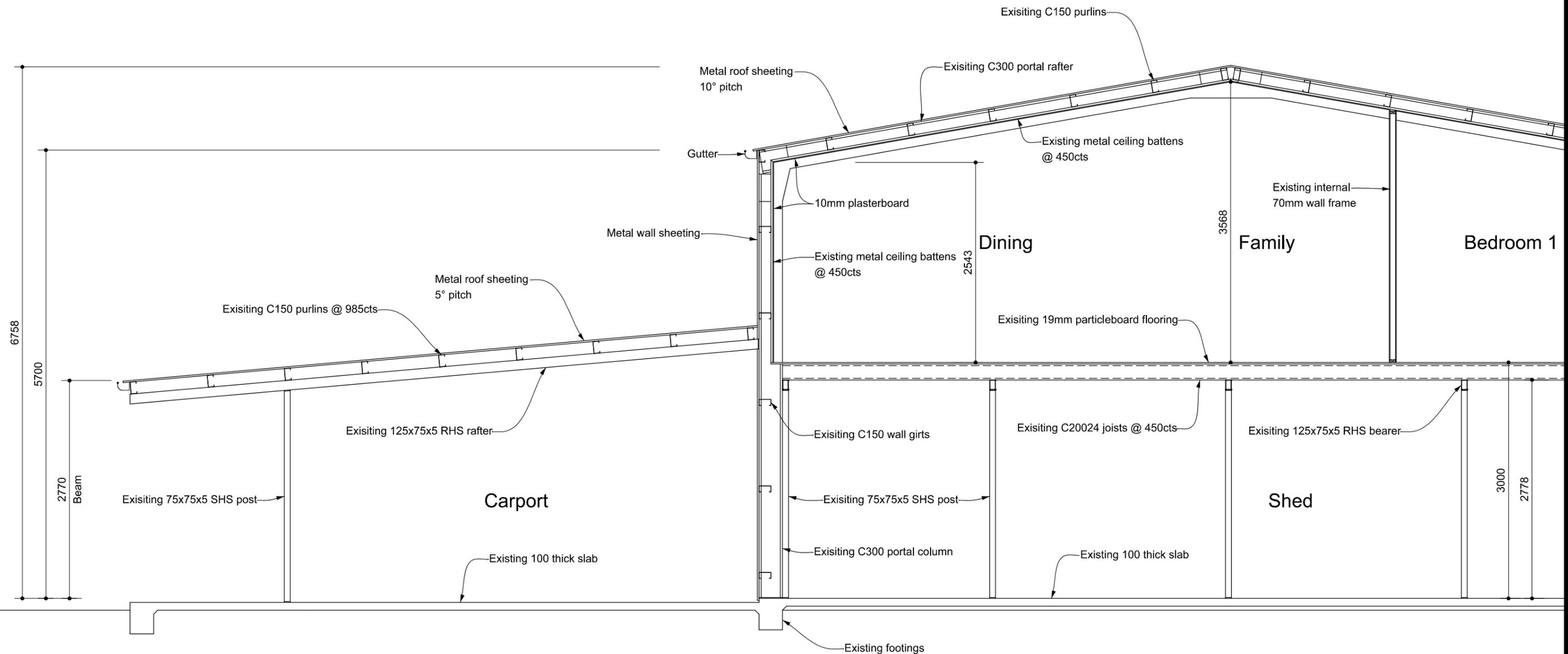


**MID FLOOR SYSTEM**

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**NOTES-**

- All dimensions and details to be checked by Builder.
- Concrete footings & floor slab to engineers specifications.
- Roof and wall framing to manufacturers specifications.
- Termite protection to comply with AS3660.1 and Part 3.4 of the NCC Vol. 2.
- New and existing steel posts, bearers & joist sizes and connection details to be confirmed by others.



**SECTION A**

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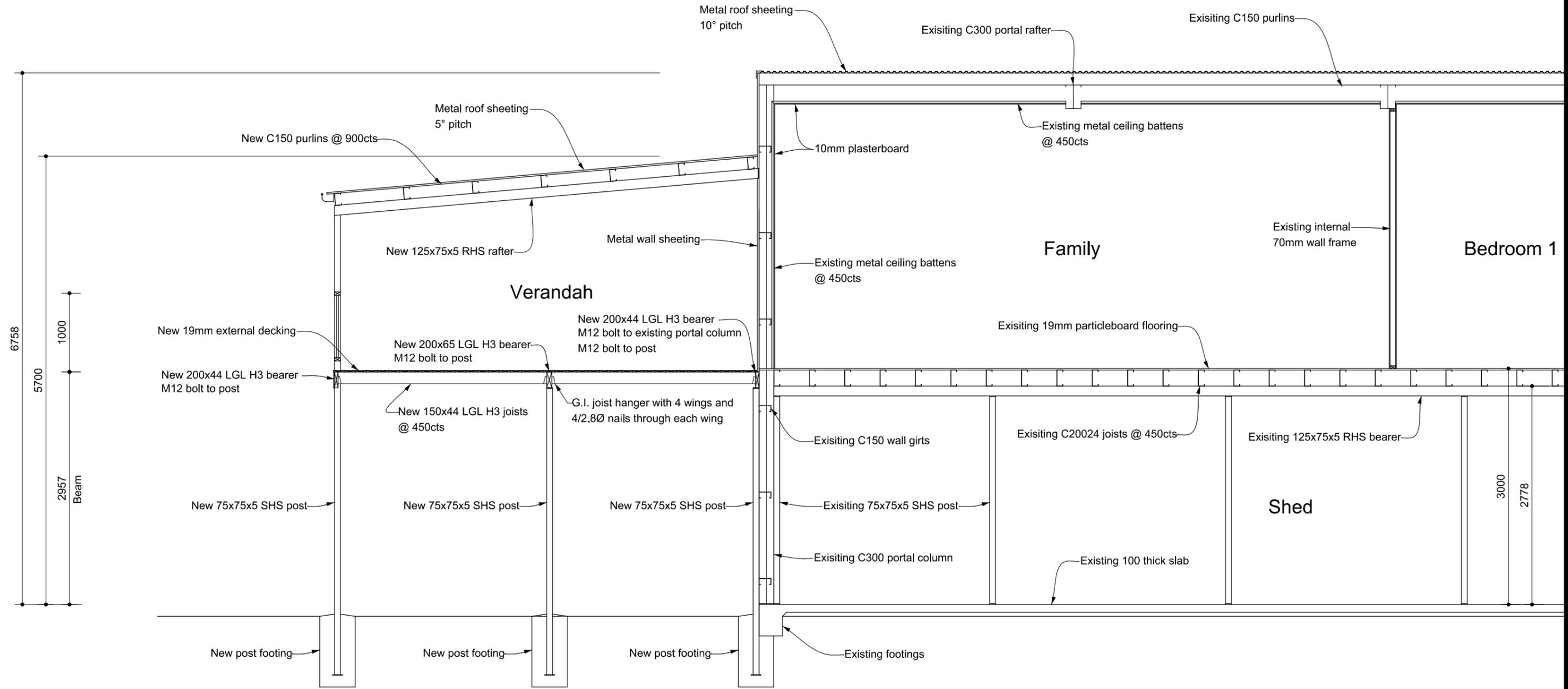


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**NOTES-**

- All dimensions and details to be checked by Builder.
- Concrete footings & floor slab to engineers specifications.
- Roof and wall framing to manufacturers specifications.
- Termite protection to comply with AS3660.1 and Part 3.4 of the NCC Vol. 2.
- New and existing steel posts, bearers & joist sizes and connection details to be confirmed by others.



**SECTION B**

CLIENT <b>P Jacobsen &amp; L Graney</b>		
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## Safety Report in compliance with Work Health and Safety Act 2011

The following notes make up the recommended minimum report required under the Work Health and Safety Act 2011. Under the Act designers are required to "provide adequate information to each person who is provided with the design" and also to "any person who carries out activities in relation to the structure if requested". (Draft Code of Practice: Safe Design of Building and Structures)

Specifically, the designer is required to provide "the person commissioning the design on the health and safety aspects of the design". (Draft Code of Practice: Safe Design of Building and Structures)

These notes have been prepared based on the Draft Code of Practice: Managing Risks in Construction Work and discussing the risks which the Code identifies as common in the construction of buildings. It follows that most are also the risks associated with maintenance and demolition.

It should also be made aware that the report applies not only to the construction stage but also to maintenance, renovation and demolition. It should be retained and displayed or kept in a prominent location during the operation of the building.

### 1. FALLS, SLIPS, TRIPS a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

### DURING OPERATION OR MAINTENANCE

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

### b) SLIPPERY OR UNEVEN SURFACES FLOOR FINISHES

The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

### 2. FALLING OBJECTS LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including columns, beams, trusses and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

### 3. TRAFFIC MANAGEMENT

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided.

Deliveries should be well planned to avoid congestion of loading areas. If loading and unloading of materials on the roadway is used, trained traffic management personnel should be used to supervise loading/unloading areas.

### 4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

(in locations with underground power)

Underground power lines are located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

(in locations with overhead power lines)

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated.

Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

### 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturers specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturers specification.

### 6. HAZARDOUS SUBSTANCES POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

### TREATED TIMBER

The design of this building includes provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers recommendations for use must be carefully considered at all times.

### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

### STAINED TIMBER

This building contains timber which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturers recommendations for use must be carefully considered at all times.

### 7. CONFINED SPACES EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

### 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

### 9. OPERATIONAL USE OF BUILDING

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

### 10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement.

All the above applies.

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